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DIVISION 20 - PASS-A-GRILLE OVERLAY DISTRICT

Sec 20.01 Purpose and intent.

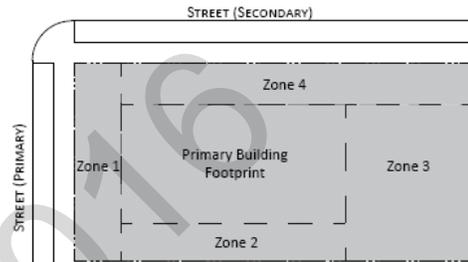
The City recognizes that the Pass-a-Grille Area was developed prior to the the development of suburban zoning regulations. The (PAG) Pass-a-Grille Overlay District is intended to allow for structures that are considered contributing to the National Register Historic District to be considered conforming regarding base flood elevations and uses of property within the Pass-a-Grille area situated south of 32nd Avenue, in order to ensure that structures and uses will be compatible with the character of existing development, including the area within the designated Pass-a-Grille Historic District. Also, to recognize that the existing parcel size's, uses and overall character of the PAG shall be permitted to continue as viable uses while allowing for improvements to existing structures, additions and new development that is consistent with the existing mass and scale within the District.

Sec 20.02 Definitions

- (a) Accessory structure envelope means provisions for the setbacks and maximum building footprints permitted for accessory structures.
- (b) Balance means the relationship among the elements of a building on either side of an imaginary centerline through the middle of a building. Buildings are either symmetrically or asymmetrically balanced.
- (c) Balanced, Asymmetrically means the shape(s) and design of a building may not match exactly, but instead have equal visual weight they are still visually balanced.
- (d) Balanced, Symmetrically means the shapes on one side of the centerline match the shapes on the other side. The two halves are visually equally.
- (e) Building height: Provisions for permitted heights in feet (ft). The maximum height for first floor residential development shall be fourteen (14) feet and twenty (20) feet for non-residential. The maximum height for second story and higher shall not exceed fourteen (14) feet. Each building lot typology provides the range of height appropriate for the building type. No new or substantially improved building within the PAG Overlay District and having the underlying zoning designation of THD, RU-2 Residential, RLM-2 Residential, or RM Residential shall be constructed not to exceed 28 feet in height to the midpoint of a sloped roof or top of the parapet of a flat or low sloped roof, and measured from the base flood elevation determined under the most restrictive applicable standard for the building site, further provided that the overall roof height shall not exceed 32 feet. base flood elevation requirements are outlined in Sec. 98-33 of the City's Code of Ordinances.
- (f) Building envelope: Provisions for the minimum and maximum setbacks permitted by front, side, and rear yards. There is a minimum and maximum setback for each lot type. The maximum and minimum frontage refers to the proportion of the lot width along which the primary building façade must be within the minimum and maximum front setback.
- (g) Compatible design means architectural design and construction that will fit harmoniously into the district based on scale, materials, and quality of construction with adjacent buildings and structures.

- (h) Lot requirements: Provisions for minimum and maximums, lot depth, lot size and the permitted lot coverage.
- (i) Mass, Primary: largest shape of a building.
- (j) Mass, Secondary: additional shapes that form the façade of the building
- (k) Parking provisions: The amount of parking shall be determined by Division 23 of the Land Development Code. Parking provisions provide zones where parking is permitted. The parking zone refers to any uncovered parking area located on the parcel. Driveways are permitted in any zone provided the frontage requirements have been met as required by building type. The diagram illustrates a Primary and Secondary street. Primary streets are streets that are addressed to the parcel of land. Secondary streets may or may not have access to the parcel. Zones are defined and illustrated by the lot area between the principal building frontage and:

- 1) Zone 1: the right-of-way of any primary street.
- 2) Zone 2: any common interior lot line.
- 3) Zone 3: any rear lot line.
- 4) Zone 4: the right-of-way of any secondary street.



- (l) Private frontages, refers to the area that is attached or integrated into the primary building.
- (m) Proportion means the relationships of one part of a façade to the whole. A house that is correctly proportionate establishes a visual relationship between all parts of its exterior. The voids, primary, and secondary masses should all be proportional to one another in order maintain architectural harmony.
- (n) Proximity means that objects that are close together should complement each other.
- (o) Rhythm means the use of repetitive elements in order to establish architectural harmony. It is based off of **three main principles**: the principle of **Proximity**, the principle of **Similarity**, and the principle of **Continuation**. These principles are part of a larger set known as *Gestalt Principles*.
- (p) Similarity means how our eyes are easily able to group objects together that share common textures, colors, or features
- (q) Voids means windows, doors, or other openings that create negative space allowing for breaks within a primary or secondary mass.

Sec 20.03 Permitted principal uses and structures.

Subject to the provisions or restrictions contained in this section and elsewhere in this Code, permitted uses and structures in the PAG Overlay District are as follows:

- (a) All uses permitted in the underlying Zoning District; and
- (b) Transient occupancy in single-family or multi-family dwellings, so long as any such transient occupancy of less than 30 days does not occur more than three times in any 12-month period on any parcel.
- (c) Uses that are in existence, upon date of adoption, shall be permitted as limited uses within an existing structure. Additions, improvements and renovations will be permitted, if the building meets the standards set forth in this Division of the Code.

1 **Sec 20.04 Permitted accessory uses and structures.**

- 2 (a) Uses and structures, as regulated in sections 6.12 and 6.13, which are customarily accessory and
3 clearly incidental and subordinate to permitted or permissible uses and structures, and are not of a
4 nature prohibited under section 20.5.
- 5 (b) Home occupations, subject to the conditions set forth in section 6.5 of this Code.
- 6 (c) Residential docks, including tie poles, shall be in conformance with the provisions of section 6.23 and
7 other applicable codes and ordinances of the city, county or state.
- 8 (d) Temporary structures shall follow the provisions of section 6.11.

9 **Sec 20.05 Allowable conditional use.**

10 Subject to the provisions or restrictions contained in this section and elsewhere in this Code, allowable
11 conditional uses in the PAG Overlay District are as follows:

- 12 (a) All permitted conditional uses allowed for in the underlying zoning district.

13 **Sec 20.06 Prohibited uses and structures.**

14 All uses and structures not of a nature specifically or provisionally permitted herein or within the underlying
15 Future land use map are hereby prohibited in the PAG Overlay District.

16 Any use which the City Commission, upon appeal, and after investigating similar uses elsewhere, shall
17 determine to be potentially noxious, dangerous or offensive to residents of the PAG Overlay District or to
18 those who pass by on public roadways, by reason of odor, smoke, noise, glare, fumes, gas, fire, explosion
19 or emission of particulate matter or likely for other reasons to be incompatible with the character of the PAG
20 area, is hereby prohibited in the PAG Overlay District.

21 **Sec 20.07 Density, intensity and assembly of parcels.**

- 22 (a) The maximum residential density permitted in the PAG Overlay District shall not exceed the
23 number of units per acre permitted by the underlying land use map for undeveloped parcels of
24 land.
- 25 (b) The existing residential density, exceeding one density unit, of an existing residential structure
26 shall be permitted to rebuild on the existing parcel of land, with the same density as the existing
27 structure(s) has, if the building was constructed prior to (insert adoption date) and can meet the lot
28 requirements, by building type, in Sec.20.12 of this Division .In addition, any new construction
29 cannot exceed the existing developed square footage and match the existing form and mass as
30 defined in Sec. 20.22 herein.
- 31 (c) The existing Hotel/Motel units shall be permitted to rebuild on the existing parcel of land, with the
32 same number of units that already exist as a rental/leasable room within the existing built hotel if
33 the building was constructed prior to (insert adoption date) and can meet the lot requirements of a
34 Boutique Hotel Building Type as provided in Sec. 20.15 of this Division.
- 35 (d) No more than two lots of record may be combined to accommodate additions to existing structures.

36 **Sec 20.08 Maximum floor area ratio.**

37 Maximum floor area ratio (FAR) for non-residential uses: Underlying Zoning District requirements.

38 **Sec 20.09 Maximum impervious surface ratio.**

39 If a parcel opts for new construction or addition to a single family home using the underlying zoning district
40 standards, the ISR shall be determined by the underlying zoning district. The ratio's listed below are subject
41 to any of the building types, defined in Sec. 201.14 that are used.

- 1 Maximum impervious surface ratio (ISR) for residential and transient accommodation uses: 0.70.
- 2 Maximum impervious surface ratio (ISR) for non-residential uses: Underlying Zoning District requirements
- 3 or existing building footprint.

4 **Sec 20.10 Reduced setbacks for contributing structures granted a**
 5 **certificate of appropriateness.**

6 Proposed additions to contributing structures may be eligible for a reduction in setback requirements if the
 7 proposed plans have been reviewed, approved, and issued a certificate of appropriateness by the Historic
 8 Preservation Board pursuant to Division 28. The purpose of this regulation is to ensure the design is
 9 compatible design with neighboring structures.

10 Design review shall be based on the requirements set forth in the underlying zoning district and the PAG
 11 Overlay District herein and for consistency with the Secretary of Interior's Standards for Rehabilitation. If the
 12 Historic Preservation Board finds that an addition is consistent with the Secretary of the Interior's Standards
 13 and that the addition would not preclude the structure's continued designation as a contributing structure,
 14 and approves a certificate of appropriateness for the plans, then the applicant can request a reduction to
 15 any and all of the setbacks, provided the setbacks are consistent within the same block of the proposed
 16 addition by providing the historical setback data for the street block (both faces) the parcel is on and the
 17 historical setbacks along that particular street that will be evaluated by the Historic Board. The following
 18 setbacks shall be considered:

Setback	
Front yard	10 feet
Secondary front yard	5 feet
Side yard	10 percent of the lot width (each)
Rear yard	10 feet

19

20 The addition must still meet impervious surface, floor area, height, herein and the landscaping, and
 21 buffering standards as identified in this Division. The reductions in setbacks do not abrogate the
 22 responsibility of the designer or homeowner to incorporate these requirements into the plan.

23 **Sec 20.11 Minimum building type requirements.**

24 Lots of record within the PAG Overlay District shall be deemed conforming despite the width and size
 25 regulations in the building types, so long as the lots are not further subdivided, and the condition existed
 26 prior to the adoption of the Division. No more than two lots of record may be combined to accommodate
 27 additions to existing structures.

28 **Sec 20.12 Subdivision of lots**

29 Lots within the PAG Overlay District shall not be subdivided to a size smaller than the platted lot of record
 30 and/or building lot types in this Division. Existing structures that are listed as contributing structures in the
 31 most recent Historic Resources Survey or that are locally designated historic structures are exempt from the
 32 setbacks imposed by this Division; however, additions and accessory structures shall comply with the
 33 standards in Section 20.15, by building type. All other structures shall also comply with the setbacks and
 34 required yards imposed by the building types in this Division, Sec. 20.15.

1 **Sec 20.13 Residential development option for single-family homes**

2 Any parcel within the PAG Overlay District with a Residential Zoning District designation of RU-2, RLM-2, or
3 RM may develop a single family residential house using the underlying residential zoning standards for
4 additions or new construction: If an applicant uses the underlying residential zoning district standards, for
5 new construction or additions the following standards shall be met:

- 6 (a) Underlying Zoning Districts minimum lot requirements,
7 (b) Underlying Zoning Districts Minimum yard requirements,
8 (c) Underlying Zoning Districts Maximum floor area ratio standards; and
9 (d) Height shall not exceed 28 feet in height to the midpoint of a sloped roof or top of the parapet of a
10 flat or low sloped roof, and measured from the base flood elevation determined under the most
11 restrictive applicable standard the the building side, further provided that the overall roof height
12 shall not exceed 32 feet.
13

14 Any other applicable standards within this Division, not expressly stated in this Section, shall apply to new
15 development and redevelopment as outlined in this Division.

16 **Sec 20.14 Vacant parcels**

17 The following procedures shall be followed

- 18 (a) For parcels of land within a residential land use district:

19 Any parcel of land that is vacant, at the time of adoption, shall only be permitted either:

- 20 1) Any residential building type that is consistent with the underlying uses permitted in the Future
21 land use plan and must meet the lot width and lot depth as identified, by building type found in
22 Sec 20.15, to determine the appropriate standards to apply to that parcel, or
23 2) Provisions listed in Sec 20.13 of this Division

- 24 (b) Parcels of land within non-residential land use districts:

25 Any parcel of land that is vacant, at the time of adoption of the PAG Overlay District, shall be permitted
26 any of the non-residential building types that are consistent with the existing lot width/depth of the
27 parcel of land. Assembly or parcel splits shall only be permitted through the City Commission, to
28 determine the compatibility and respect for the existing character of the PAG Overlay District.

29 **Sec 20.15 Permitted building types**

30 Building types are permitted by the following criteria:

- 31 (a) Existing Parcel Size, and
32 (b) Existing Density, Units and Rooms
33

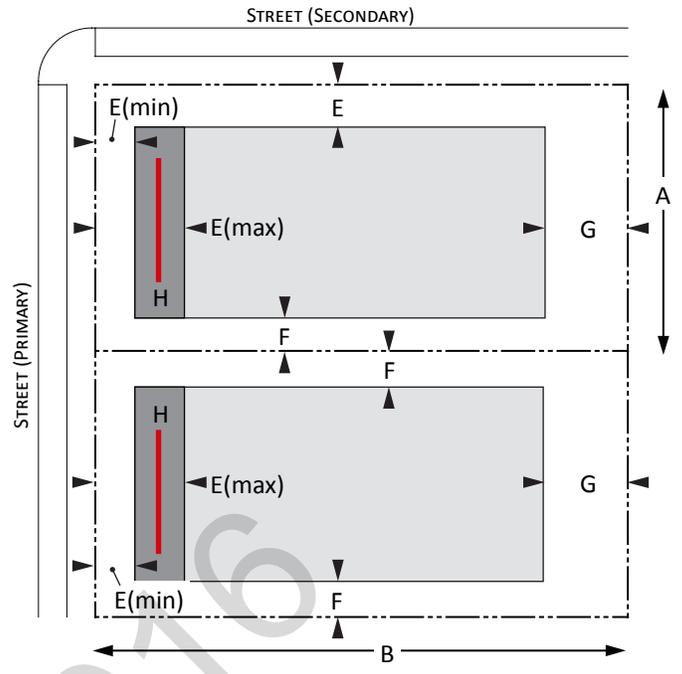
34 An applicant must provide a survey of the parcel to verify the actual parcel size (lot width/lot depth) or use
35 the City's parcel data information. If the applicant believes the lot width and depth are different than the
36 City's records, the applicant will be required to have a survey of the lot for verification.
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A building lot located and designed to accommodate a detached building with large side, rear and front yards.

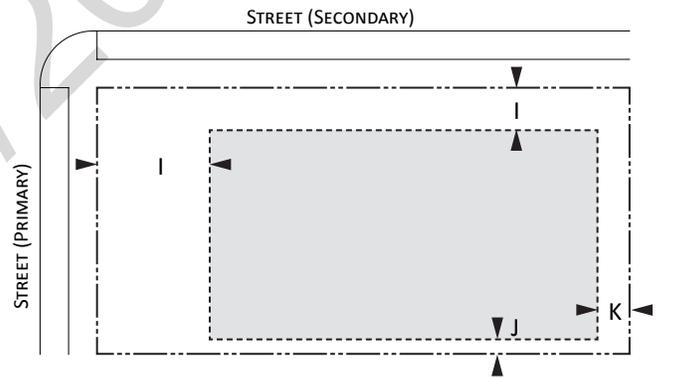
LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	60	--
B - Lot Depth (ft)	100	--
C - Lot Size (sf)	6,000	--
D - Lot Coverage (%)	--	60
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	10	15
Secondary Street Setback	7	--
F - Side Setback (ft)	7	--
G - Rear Setback (ft)	15	--
Garage Adjacent to Alley	5	--
H - Frontage Buildout (%)	50	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	10	--
J - Side Setback (ft)	25	--
K - Rear Setback (ft)	--	80
L - Building Footprint (sf)	--	800
BUILDING HEIGHT		
N - Accessory Structure(s) (ft)	--	28-32' as defined in Sec. 20.17
N - Accessory Structure(s) (ft)	--	28'
PARKING PROVISIONS		
Location	Zone 1,2,3, and 4	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF listed	P, S, CY	

(1) a lot that is adjacent to the bay or beach is permitted to exceed the maximum setback requirements.

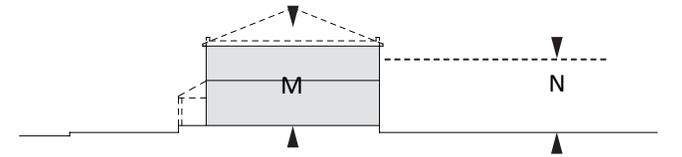
LOT REQUIREMENTS AND BUILDING ENVELOPE



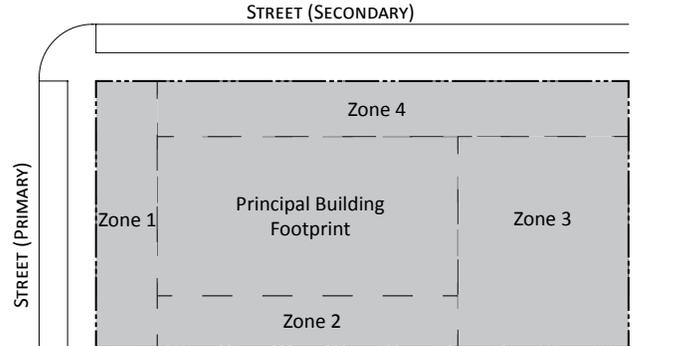
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION

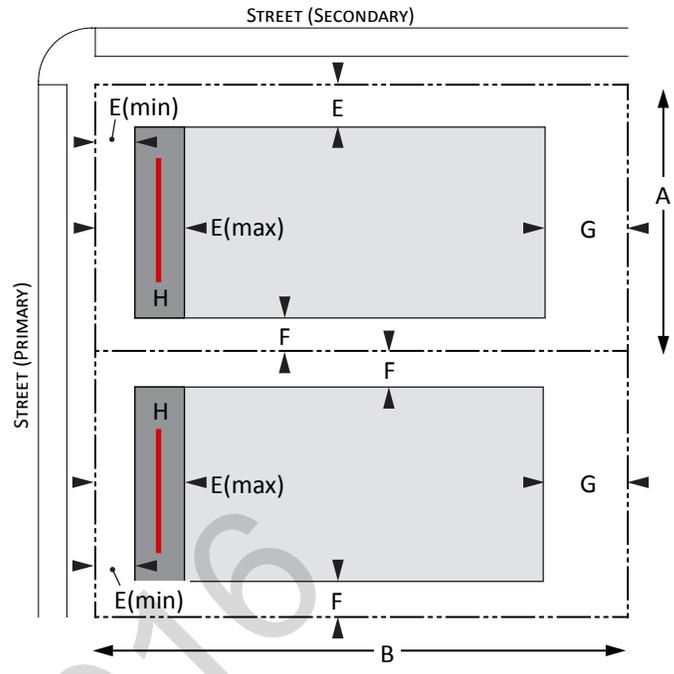


HM HOUSE - MEDIUM

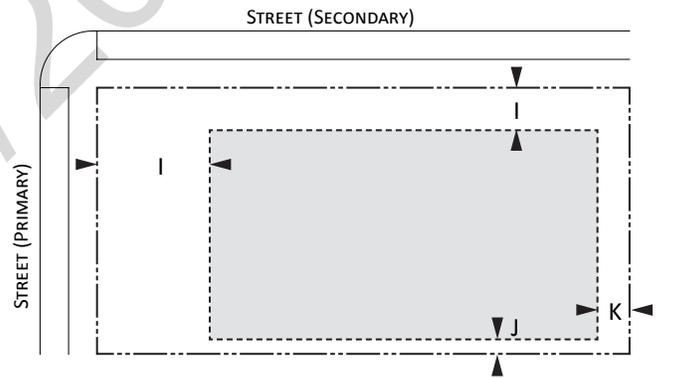
A building lot located and designed to accommodate a detached building with small side yards and a large front yard.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	40	55
B - Lot Depth (ft)	100	--
C - Lot Size (sf)	4,000	--
D - Lot Coverage (%)	--	70
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	10	15
Secondary Street Setback	5	--
F - Side Setback (ft)	5	--
G - Rear Setback (ft)	15	--
Garage Adjacent to Alley	5	--
H - Frontage Buildout (%)	50	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (ft)	--	'28-32' as defined in Sec. 20.17
N - Accessory Structure(s) (ft)	--	28'
PARKING PROVISIONS		
Location	Zone 2,3, and 4	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF listed	P, S, CY	

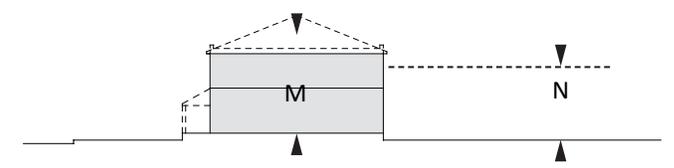
LOT REQUIREMENTS AND BUILDING ENVELOPE



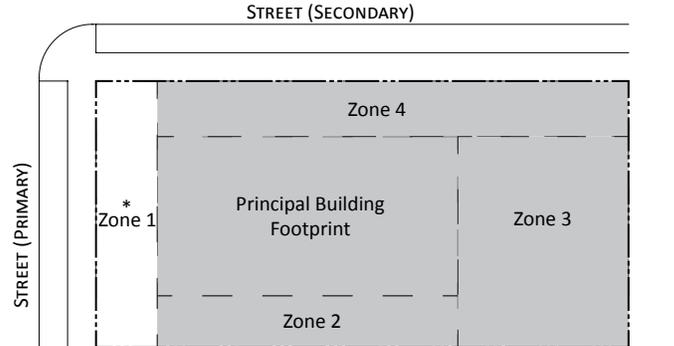
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION



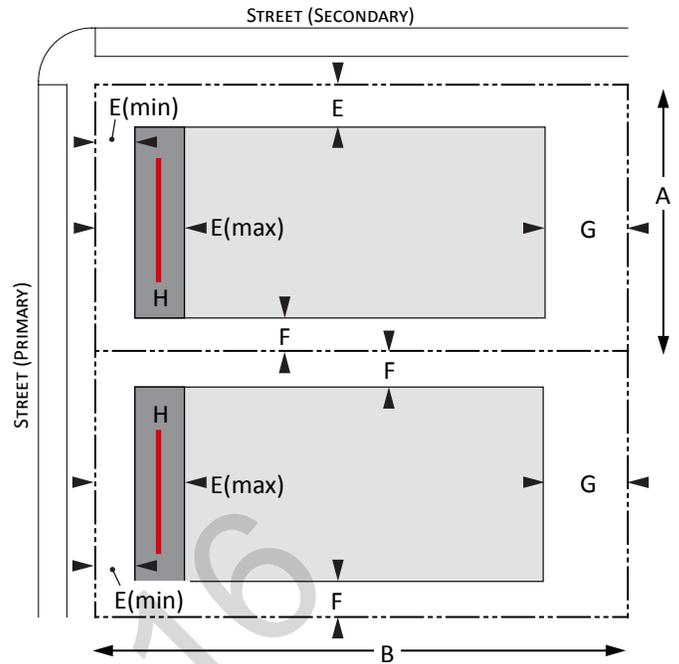
(1) a lot that is adjacent to the bay or beach is permitted to exceed the maximum setback requirements.

A building lot located and designed to accommodate a small detached building with small side and front yards. A maximum of one dwelling unit is permitted.

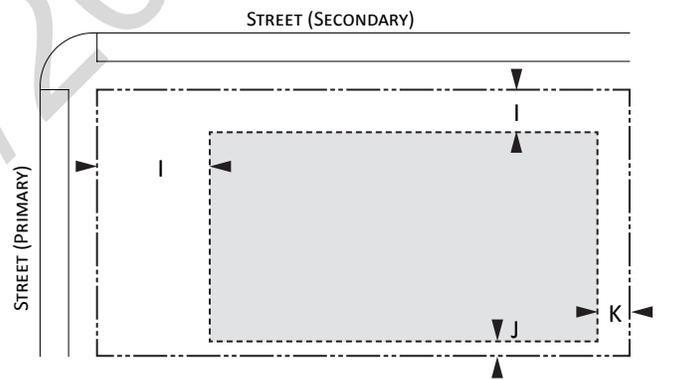
LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	32	40
B - Lot Depth (ft)	50	120
C - Lot Size (sf)	1,600	4,800
D - Lot Coverage (%)	--	90
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	5	10
Secondary Street Setback (ft)	5	--
F - Side Setback (ft)	3	--
G - Rear Setback (ft)	10	--
Garage Adjacent to Alley	5	--
H - Frontage Buildout (%)	50	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	400
BUILDING HEIGHT	MIN	MAX
M - Principal Building (ft)	--	'28-32' as defined in Sec. 20.17
N - Accessory Structure(s) (ft)	--	28'
PARKING PROVISIONS		
Location	Zone 2,3,4	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF listed	P, S, CY	

(1) a lot that is adjacent to the bay or beach is permitted to exceed the maximum setback requirements.

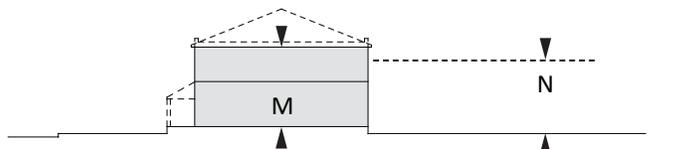
LOT REQUIREMENTS AND BUILDING ENVELOPE



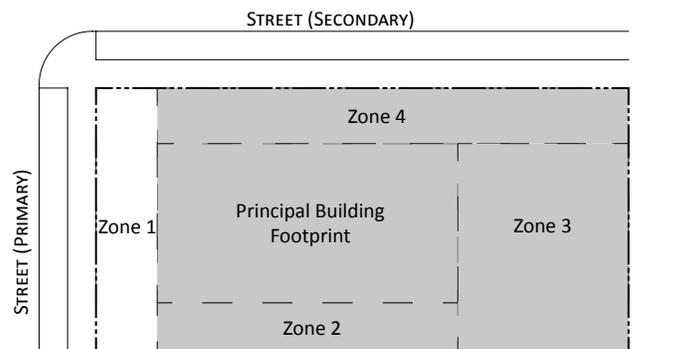
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION

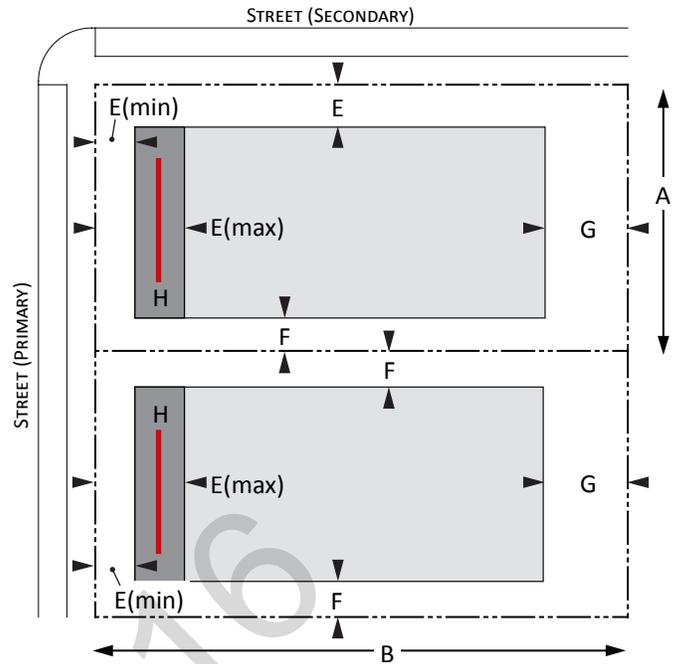


A building lot located and designed to accommodate a detached building which resembles a large house but which contains multiple dwellings above and beside each other. A maximum of 4 units are permitted in this building lot. (The units have to be existing prior to redevelopment as stated in Sec.20.06 Density, intensity and assembly of parcels).

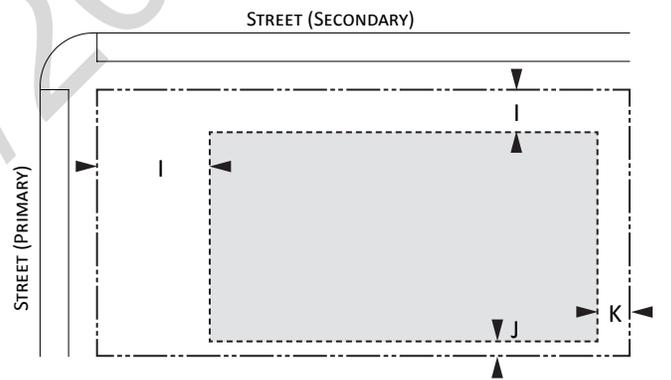
LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	40	55
B - Lot Depth (ft)	80	--
C - Lot Size (sf)	3,200	--
D - Lot Coverage (%)	--	70
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	10	15
Secondary Street Setback (ft)	5	--
F - Side Setback (ft)	5	--
G - Rear Setback (ft)	15	--
Garage Adjacent to Alley	5	--
H - Frontage Buildout (%)	60	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	--	'28-32' as defined in Sec. 20.17
N - Accessory Structure(s) (ft)	--	2
PARKING PROVISIONS	Location Zone 2, 3 and 4	
PRIVATE FRONTAGES (PF)	Select a minimum of 1 PF listed P, S, CY	

* Porch or balcony that is not enclosed may be located within the 2nd Story setback.

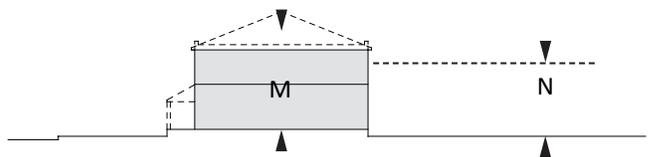
LOT REQUIREMENTS AND BUILDING ENVELOPE



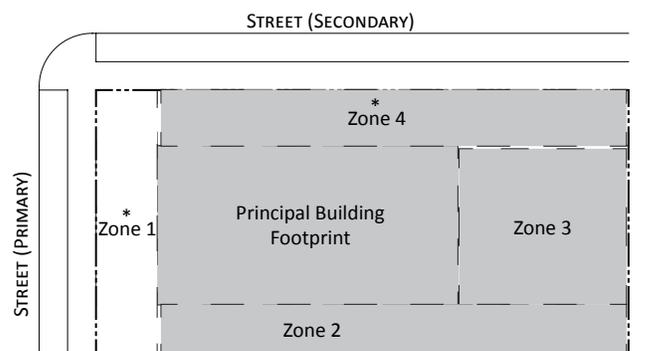
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION

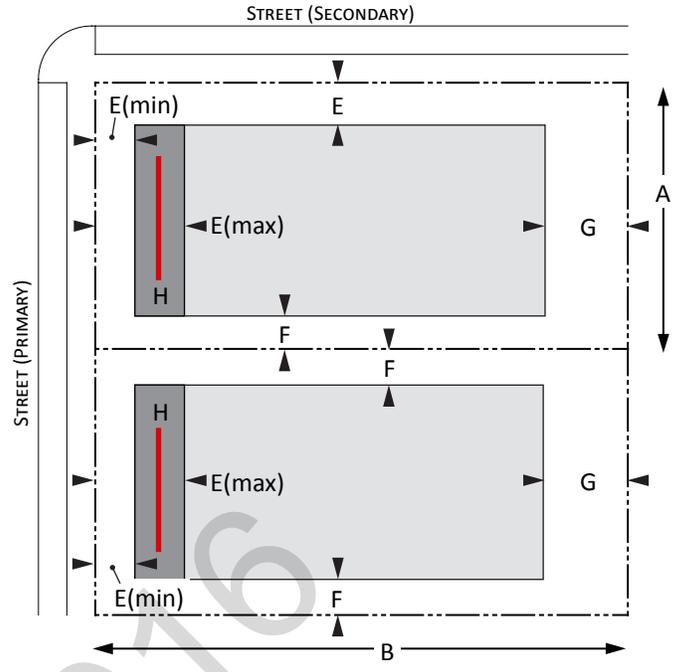


A building lot located and designed to accommodate multiple dwellings above or beside each other in a building that occupies most of its building lot width and is placed close to the sidewalk. (The units have to be existing prior to redevelopment as stated in Sec.20.06 Density, intensity and assembly of parcels).

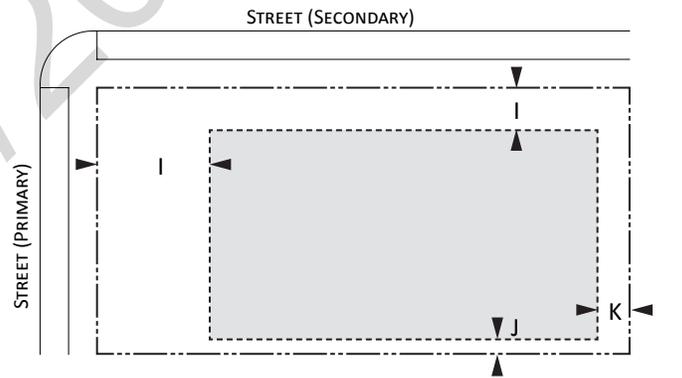
LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	60	90
B - Lot Depth (ft)	100	120
C - Lot Size (sf)	6,000	10,800
D - Lot Coverage (%)	--	75
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	15	20
Secondary Street Setback (ft)	7	--
F - Side Setback (ft)	7	--
G - Rear Setback (ft)	20	--
Garage Adjacent to Alley	5	--
H - Frontage Buildout (%)	60	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (ft)	--	'28-32' as defined in Sec. 20.17
N - Accessory Structure(s) (ft)	--	28'
PARKING PROVISIONS	Location Zone 2 and 3	
PRIVATE FRONTAGES (PF)	Select a minimum of 1 PF P, F, S, CY	

* Porch or balcony that is not enclosed may be located within the 2nd Story setback.

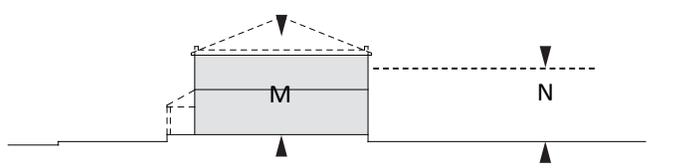
LOT REQUIREMENTS AND BUILDING ENVELOPE



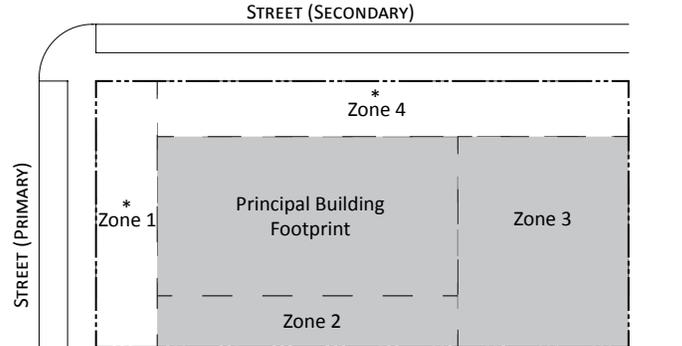
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION



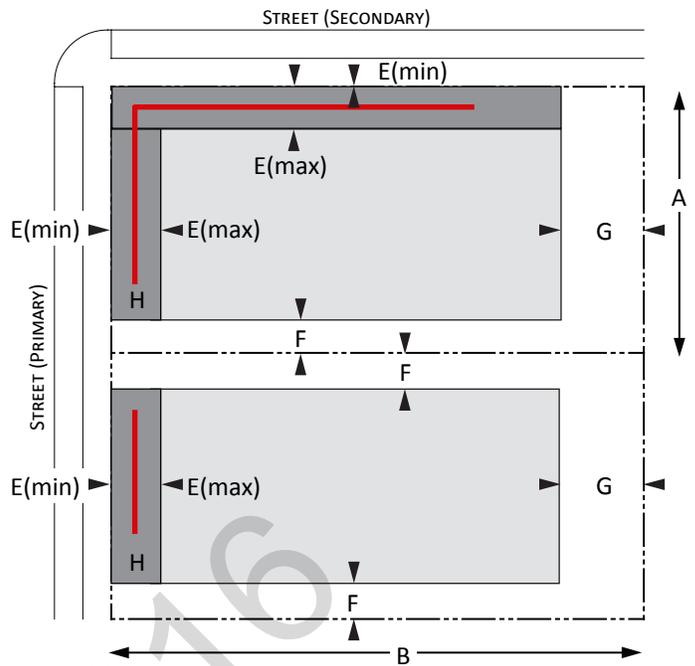
AM APARTMENT BUILDING- MEDIUM

A building lot located and designed to accommodate multiple dwellings above or beside each other in a building that occupies most of its building lot width and is placed close to the sidewalk. (The units have to be existing prior to redevelopment as stated in Sec.20.06 Density, intensity and assembly of parcels).

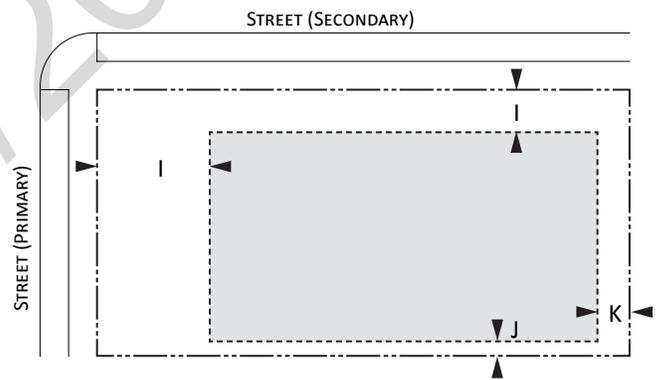
LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	90	200
B - Lot Depth (ft)	120	120
C - Lot Size (sf)	10,800	24,000
D - Lot Coverage (%)	--	75
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	15	25
Secondary Street Setback (ft)	10	--
F - Side Setback (ft)	10	--
G - Rear Setback (ft)	15	--
Garage Adjacent to Alley	5	--
H - Frontage Buildout (%)	60	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (ft)	--	'28-32' as defined in Sec. 20.17
N - Accessory Structure(s) (ft)	--	28'
PARKING PROVISIONS	Location Zone 2 and 3	
PRIVATE FRONTAGES (PF)	Select a minimum of 1 PF listed CY, P, F, S	

* Porch or balcony that is not enclosed may be located within the 2nd Story setback.

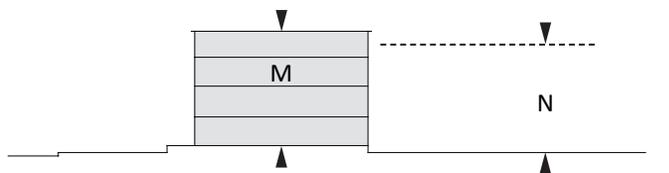
LOT REQUIREMENTS AND BUILDING ENVELOPE



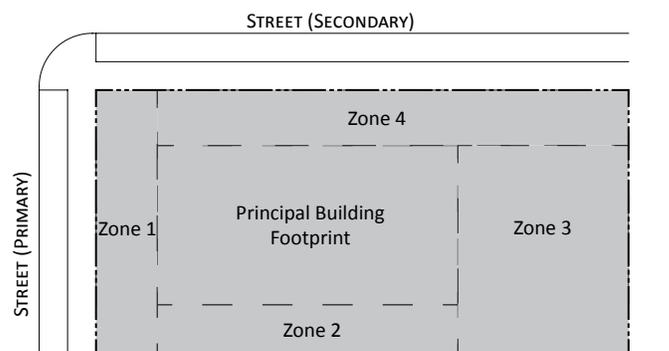
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION

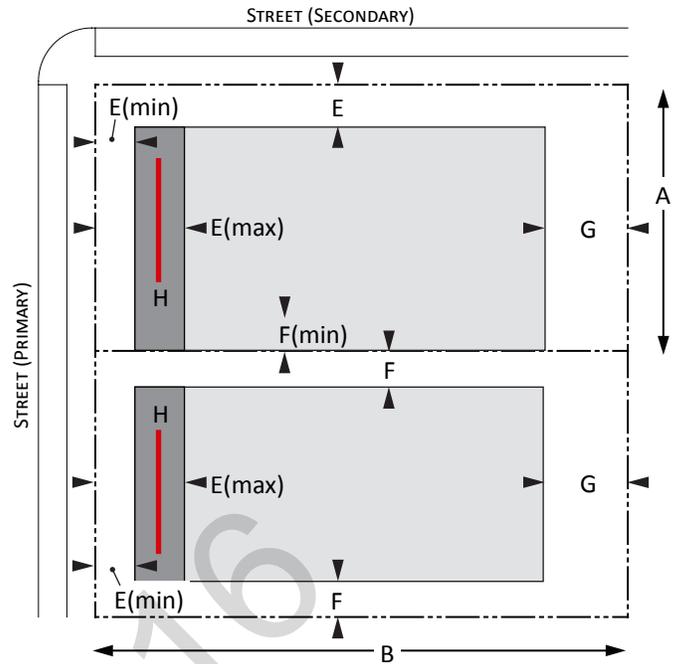


A building lot located and designed to accommodate multiple dwellings arranged around and fronting on a central garden or courtyard that may be partially or wholly open to a street and/or alleyway. (The units have to be existing prior to redevelopment as stated in Sec.20.06 Density, intensity and assembly of parcels).

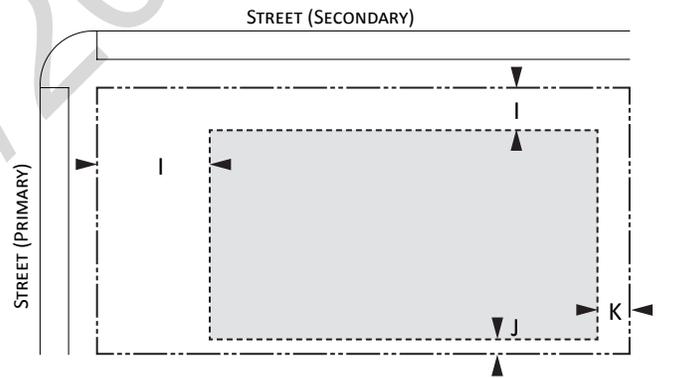
LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	50	200
B - Lot Depth (ft)	80	120
C - Lot Size (sf)	4,000	24,000
D - Lot Coverage (%)	--	80
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	10	15
Secondary Street Setback (ft)	5	--
F - Side Setback (ft)	5	--
G - Rear Setback (ft)	20	--
Garage Adjacent to Alley	5	--
H - Frontage Buildout (%)	60	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (ft)	--	'28-32' as defined in Sec. 20.17
N - Accessory Structure(s) (ft)	--	28'
PARKING PROVISIONS	Zone 2 and 3	
PRIVATE FRONTAGES (PF)	Select a minimum of 1 PF listed	
	F	

* Porch or balcony that is not enclosed may be located within the 2nd Story setback.

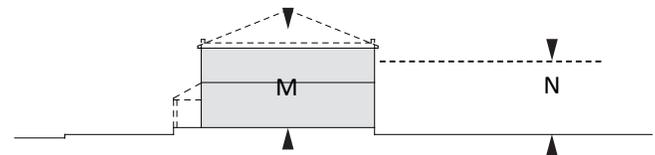
LOT REQUIREMENTS AND BUILDING ENVELOPE



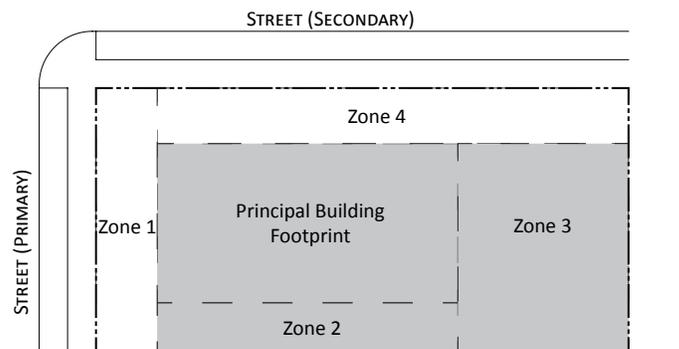
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



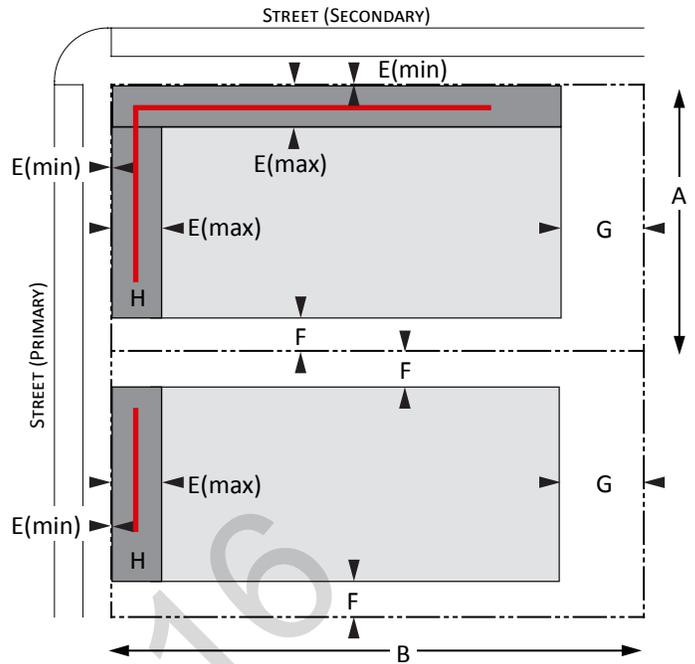
PARKING LOCATION



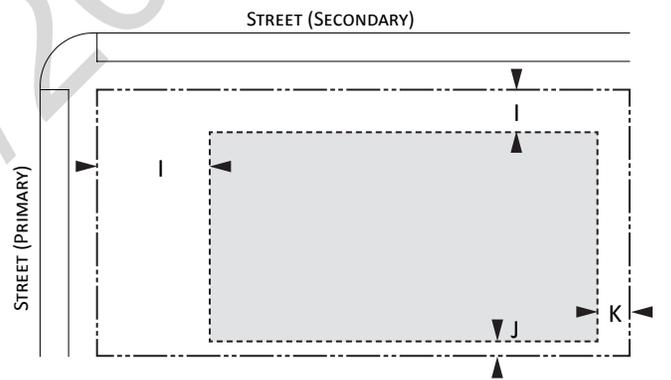
A building lot located and designed to accommodate a multi story building with commercial, office and/or multiple dwellings in any story that is designed for smaller lot sizes.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	20	60
B - Lot Depth (ft)	80	120
C - Lot Size (sf)	1,600	7,200
D - Lot Coverage (%)	--	80
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	10	15
Secondary Street Setback (ft)	5	--
F - Side Setback (ft)	0	--
G - Rear Setback (ft)	15	--
Alley	5	--
H - Frontage Buildout (%)	60	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	600
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	--	underlying zoning district
N - Accessory Structure(s) (ft)	--	25
PARKING PROVISIONS	Location Zone 2 and 3	
PRIVATE FRONTAGES (PF)	Select a minimum of 1 PF listed C	

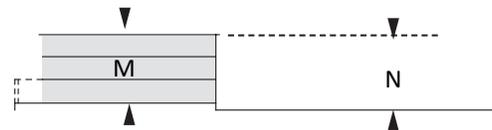
LOT REQUIREMENTS AND BUILDING ENVELOPE



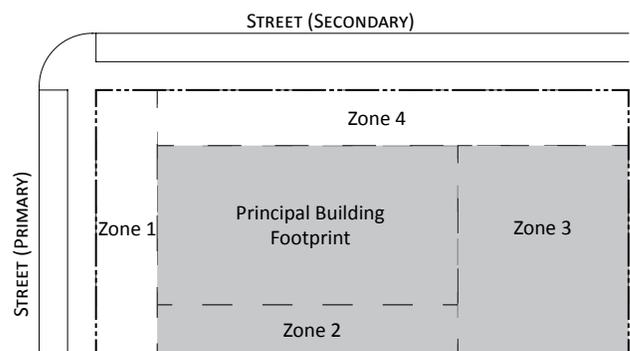
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION

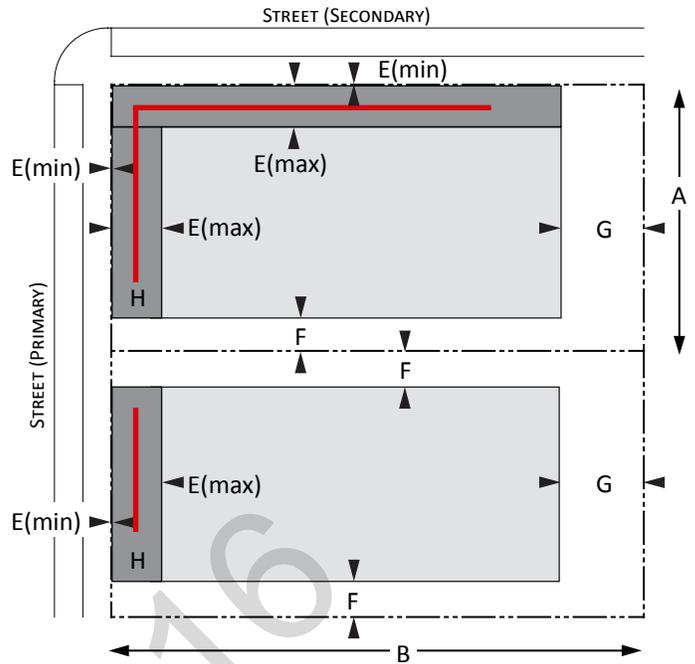


CM COMMERCIAL/ MIXED-USE - MEDIUM

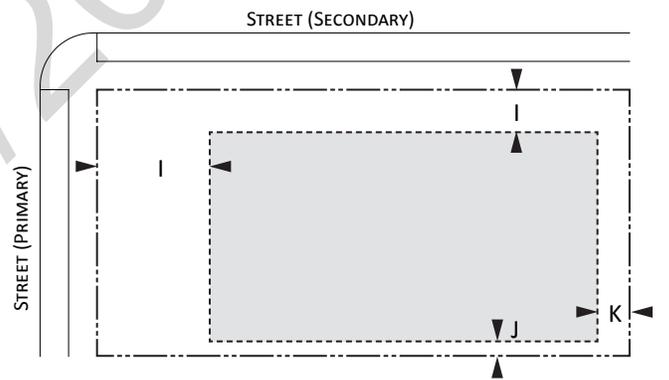
A building lot located and designed to accommodate a multi story building with commercial, office and/or multiple dwellings in any story that is designed for average lot sizes.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	60	150
B - Lot Depth (ft)	--	350
C - Lot Size (sf)	--	52,500
D - Lot Coverage (%)	--	90
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	10	15
Secondary Street Setback (ft)	5	--
F - Side Setback (ft)	0	--
G - Rear Setback (ft)	20	--
Alley	5	--
H - Frontage Buildout (%)	60	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	--	underlying zoning district
N - Accessory Structure(s) (ft)	--	25
PARKING PROVISIONS		
Location	Zone 2 and 3	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF listed	C	

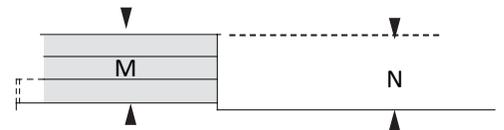
LOT REQUIREMENTS AND BUILDING ENVELOPE



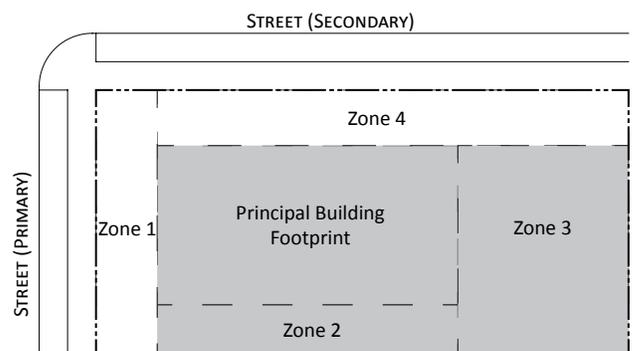
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



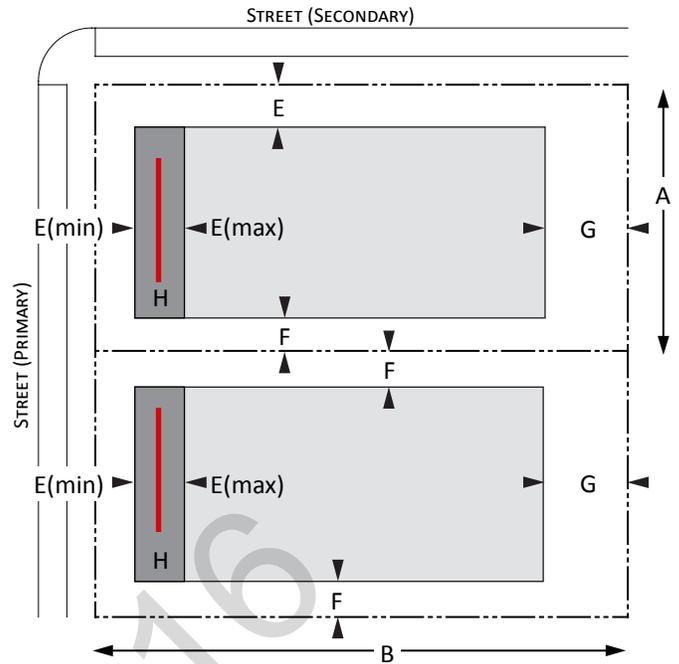
PARKING LOCATION



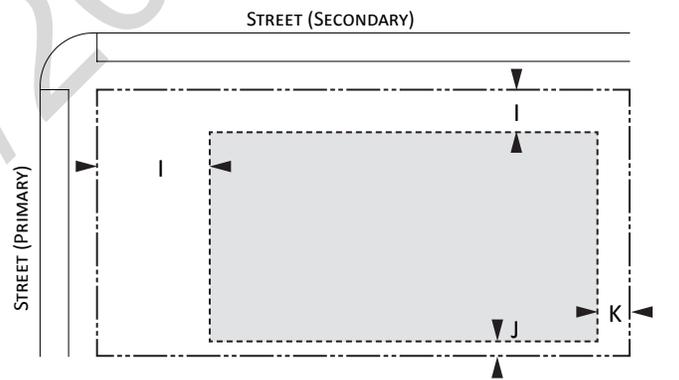
A building lot located and designed to accommodate lodging. The number of rooms will be confirmed by existing operating hotel rooms. (The units have to be existing prior to redevelopment as stated in Sec.20.06 Density, intensity and assembly of parcels).

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	40	105
B - Lot Depth (ft)	90	125
C - Lot Size (sf)	--	13,125
D - Lot Coverage (%)	--	80
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	15	20
Secondary Street Setback (ft)	10	--
F - Side Setback (ft)	10	--
G - Rear Setback (ft)	15	--
Garage Adjacent to Alley	5	--
H - Frontage Buildout (%)	60	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (ft)	--	'28-32' as defined in Sec. 20.17
N - Accessory Structure(s) (ft)	--	28'
PARKING PROVISIONS	Location Zone 2,3, and 4	
PRIVATE FRONTAGES (PF)	Select a minimum of 1 PF listed C, P, F, CY,S	

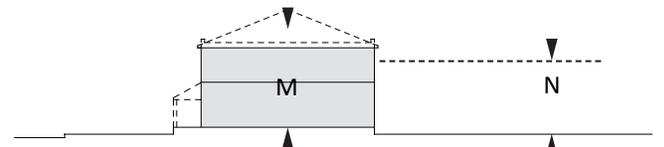
LOT REQUIREMENTS AND BUILDING ENVELOPE



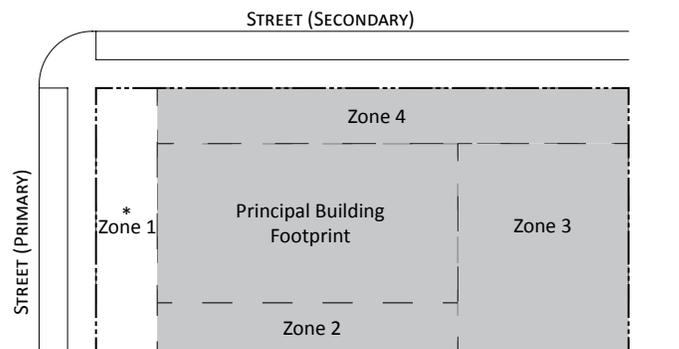
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION



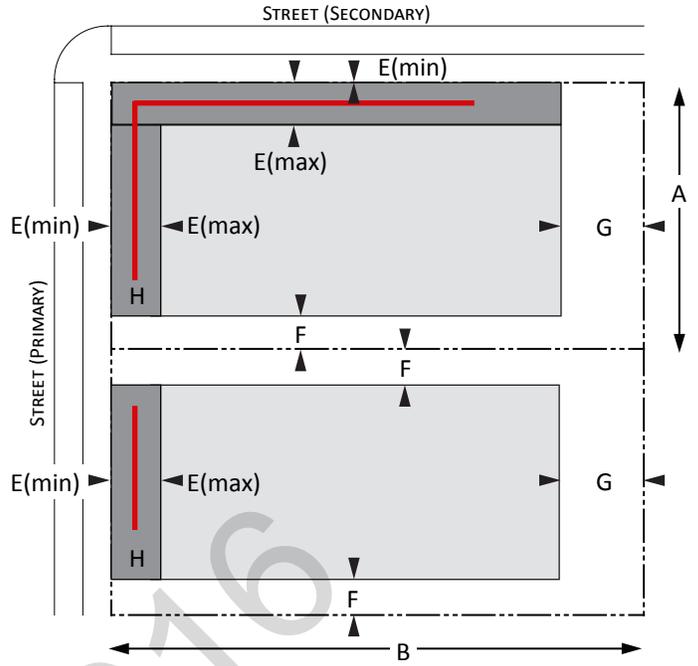
SS

SINGLE STORY COMMERCIAL BUILDING-SMALL

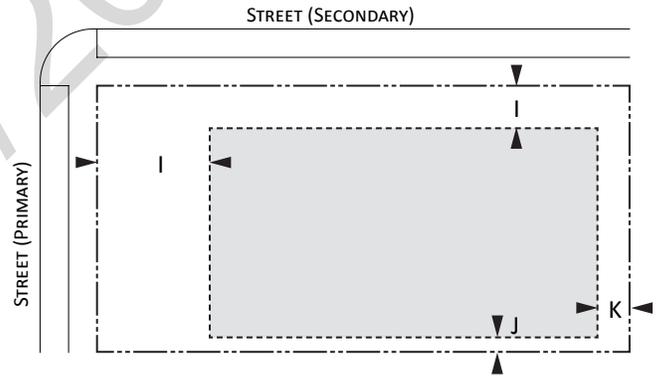
A building lot located and designed to accommodate single use office and retail.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	30	50
B - Lot Depth (ft)	80	120
C - Lot Size (sf)	4,000	6,000
D - Lot Coverage (%)	--	80
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	10	15
Secondary Street Setback (ft)	5	--
F - Side Setback (ft)	0	--
G - Rear Setback (ft)	20	--
Alley	5	--
H - Frontage Buildout (%)	60	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (ft)	--	underlying zoning district
N - Accessory Structure(s) (ft)	--	25
PARKING PROVISIONS		
Location	Zone 2,3, and 4	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF listed	C, G, A	

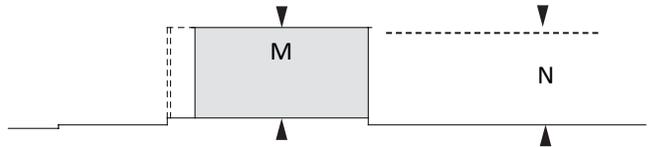
LOT REQUIREMENTS AND BUILDING ENVELOPE



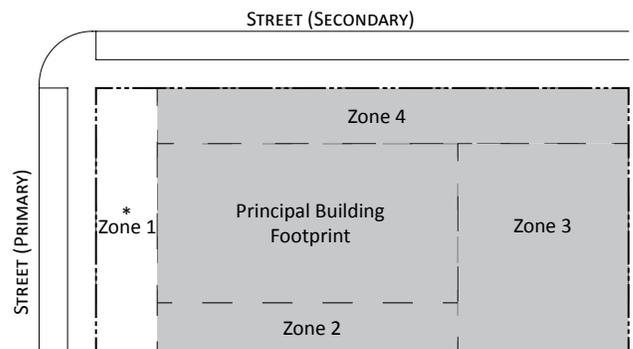
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION

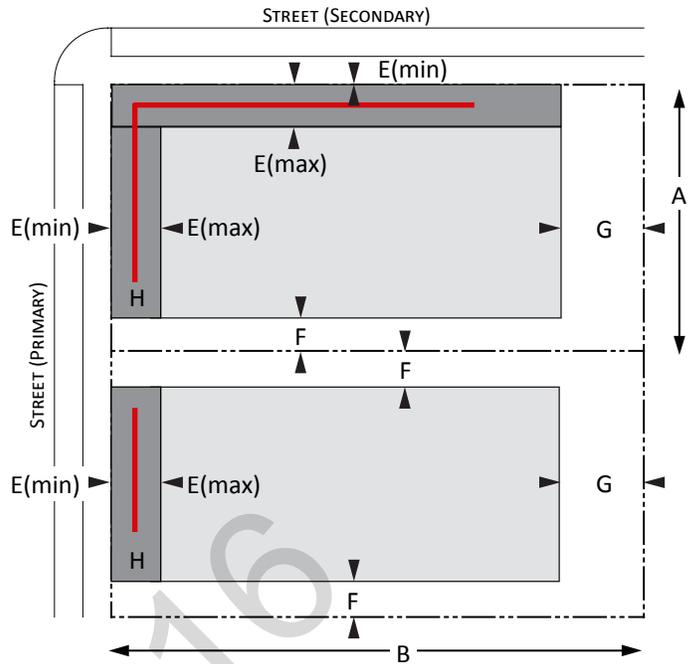


SINGLE STORY COMMERCIAL BUILDING-MEDIUM

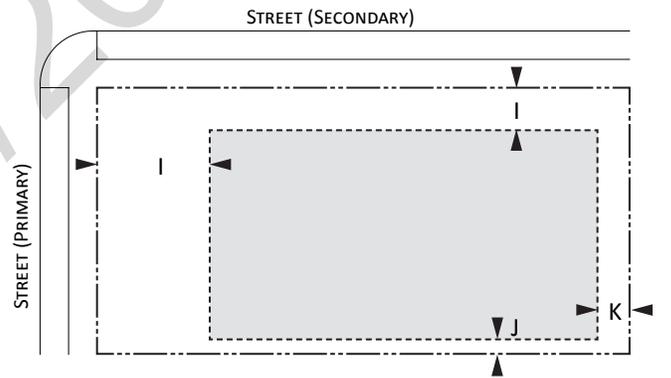
A building lot located and designed to accommodate single use office and retail.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	60	150
B - Lot Depth (ft)	--	350
C - Lot Size (sf)	--	52,500
D - Lot Coverage (%)	--	90
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	10	15
Secondary Street Setback (ft)	5	--
F - Side Setback (ft)	0	--
G - Rear Setback (ft)	20	--
Alley	5	--
H - Frontage Buildout (%)	60	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	--	underlying zoning district
N - Accessory Structure(s) (ft)	--	25
PARKING PROVISIONS		
Location	Zone 2 and 3	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF listed	C	

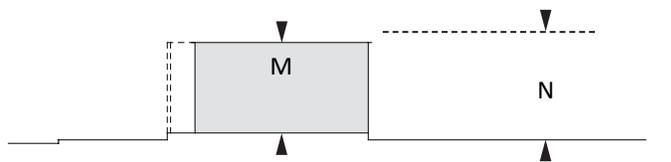
LOT REQUIREMENTS AND BUILDING ENVELOPE



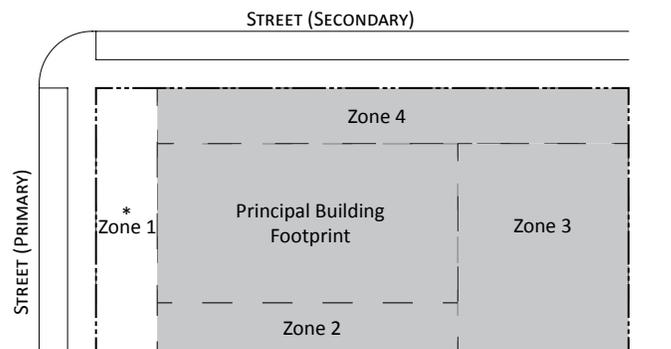
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



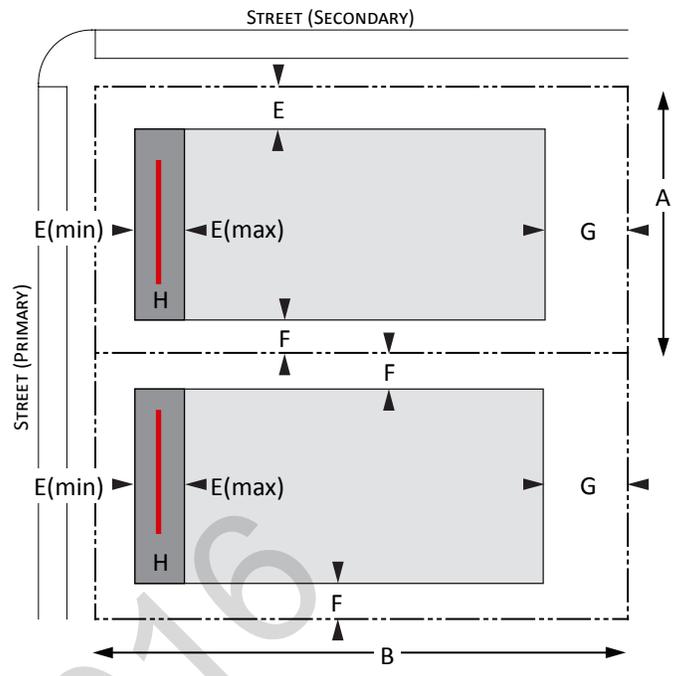
PARKING LOCATION



A building lot located and designed to accommodate a building containing public or civic uses such as community services, day care, education, government, places of worship, or social services. This typology is only for permitted and existing institutional buildings.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	--	--
B - Lot Depth (ft)	--	--
C - Lot Size (sf)	--	--
D - Lot Coverage (%)	--	--
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	10	25
Secondary Street Setback (ft)	10	--
F - Side Setback (ft)	10	--
G - Rear Setback (ft)	15	--
Alley	5	--
H - Frontage Buildout (%)	50	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (ft)	--	35
N - Accessory Structure(s) (ft)	--	28'
PARKING PROVISIONS		
Location	Zone 2,3, and 4	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF listed	no requirement	

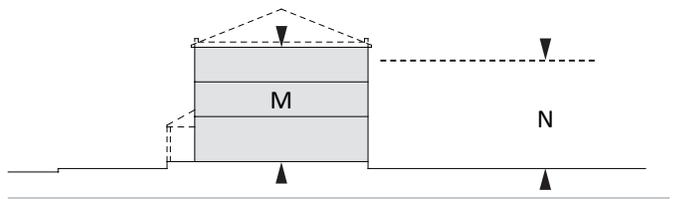
LOT REQUIREMENTS AND BUILDING ENVELOPE



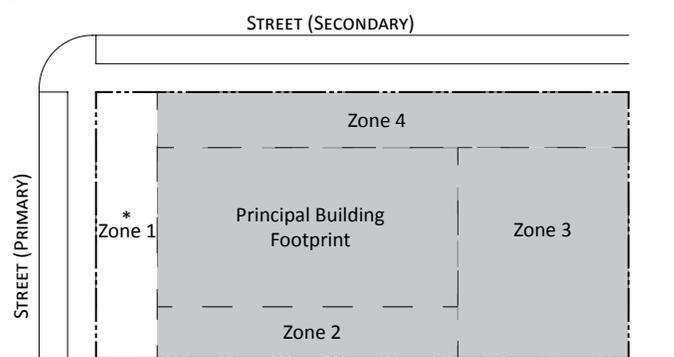
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION



P

PORCH

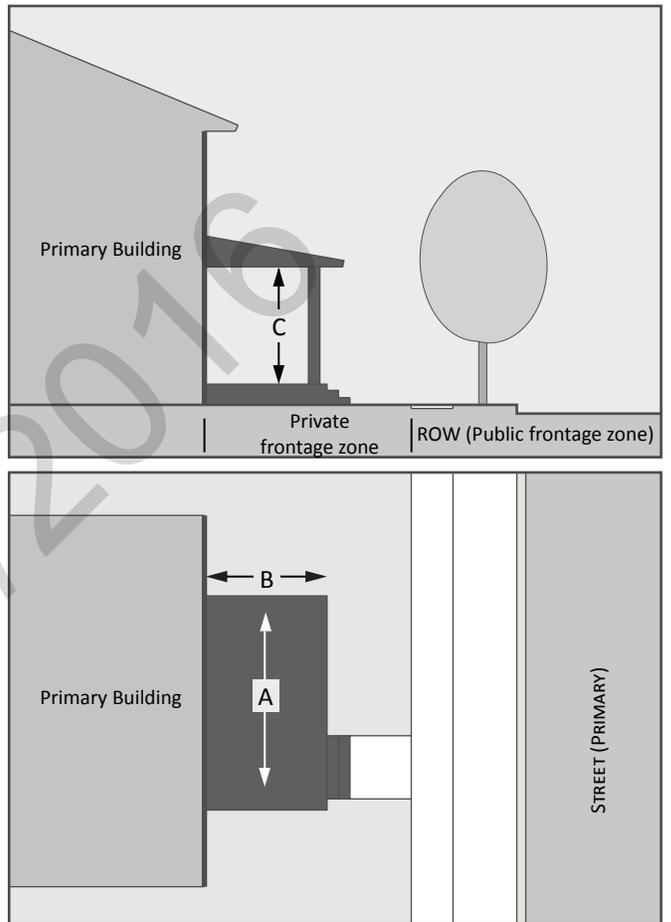
The façade is setback from the front lot line per applicable street setback requirements. The façade includes an attached front porch structure. A wide variety of porch designs are possible.

FRONTAGE ZONE (FZ)	MIN	MAX
Porch structure requirements:		
A - Width (clear) (ft)	10	--
B - Depth (clear) (ft)	5	--
C - Height (clear) (ft)	7	--

INTERFACE ZONE (IZ)

Landscape with path (3' wide min) from sidewalk to structure

FRONTAGE ZONE AND INTERFACE ZONE DIMENSIONS

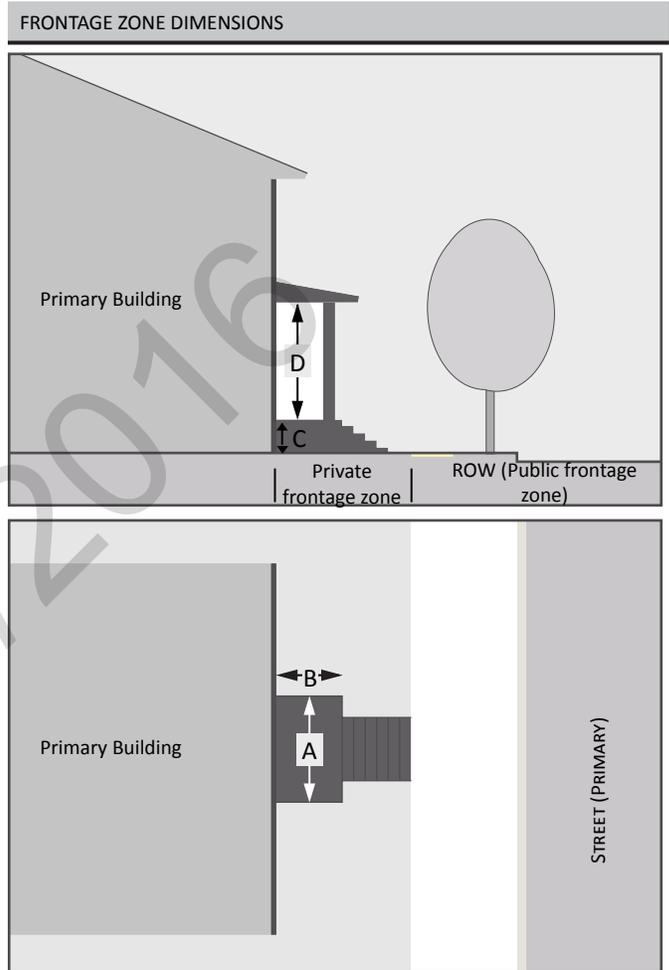


S

STOOP

The façade is set back from the front lot line per applicable street setback requirements. The façade includes an attached entry stoop (an elevated landing with stairs) that is placed at or near the front lot line. The ground floor is elevated to provide privacy. The stoop may include a roof, however it is not required.

FRONTAGE ZONE (FZ)	MIN	MAX
Stoop structure requirements:		
A - Width (clear) (ft)	5	10
B - Depth (clear) (ft)	3	8
C - Height (stoop) (in)	18	24
D - Height (clear) (ft)	7	--
INTERFACE ZONE (IZ)		
Landscape with path (3' wide min) from sidewalk to structure		



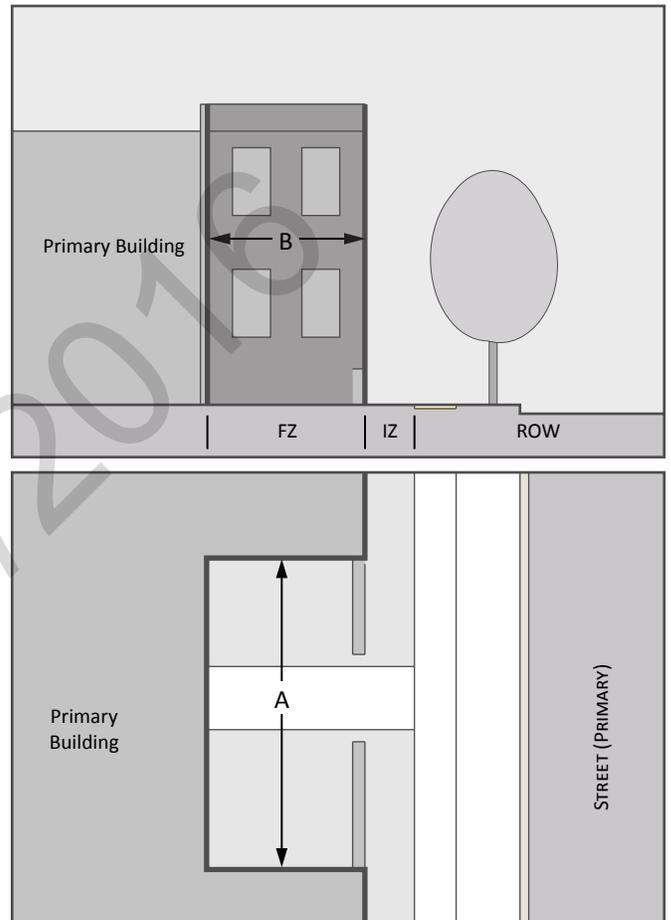
F

FORECOURT

The façade is set back from the front lot line per applicable street setback requirements. A portion of the façade is recessed to form an uncovered court. The court is suitable for outdoor dining, gardens, vehicle drop-offs, formal entries etc. A fence or wall may be used to define the private space of the court. The court may be elevated behind a retaining wall at or near the front lot line with entry steps to the court. The forecourt area may not have a permanent roof structure. Cafe's, seating areas may provide shade, umbrellas or any temporary shelter(s) that provide shade.

FRONTAGE ZONE (FZ)	MIN	MAX
Courtyard requirements:		
A - Width (clear) (ft)	12	--
B - Depth (clear) (ft)	12	50
INTERFACE ZONE (IZ)		
Landscape with path (6' wide min) from sidewalk to structure		
OTHER REQUIREMENTS		
None		

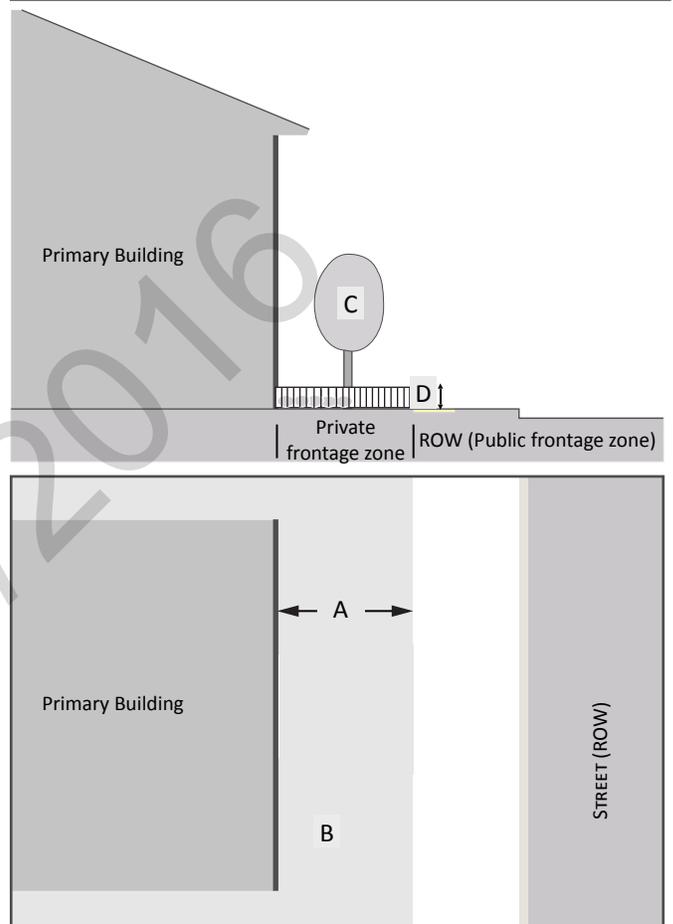
FRONTAGE ZONE AND INTERFACE ZONE DIMENSIONS



The façade is set back from the front lot line per applicable street setback requirements. The common yard may include a two to four foot in height decorative fence that shall be constructed of wood, shell, or concrete material. The frontyard is required to have a minimum of 1 canopy tree, shrubs, and ground cover.

FRONTAGE ZONE (FZ)	MIN	MAX
Stoop structure requirements:		
A - Landscape	grass and or ground cover	
B - Shrubs, ground cover	10 (3 gallon)	--
C - Tree (canopy tree)	1	--
D- Fence Height (feet)	2'	4'

FRONTAGE ZONE DIMENSIONS

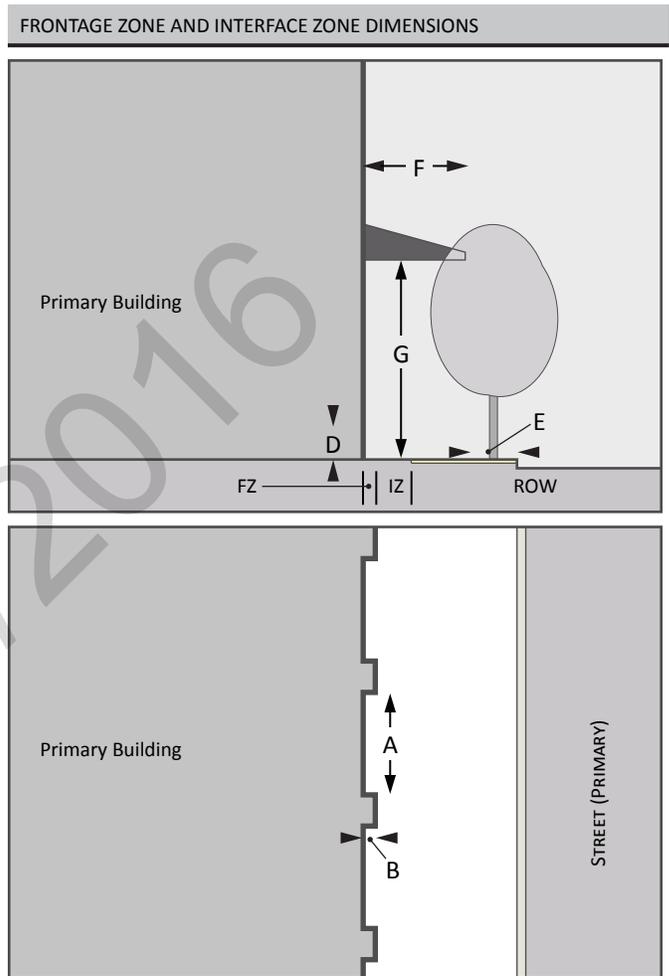




COMMERCIAL

The façade is setback from the front lot line per applicable street setback requirements, typically at or near the front lot line with the entrance at sidewalk grade. The façade may include an awning, shed roof, or gallery (a lightweight colonnade with no habitable building space above it) that covers the sidewalk and may extend into the right-of-way. The facade has a substantial amount of glazing at the sidewalk level. Recessed entrances are acceptable.

FRONTAGE ZONE (FZ)	MIN	MAX
Building facade requirements:		
A - Distance between openings (ft)	10	20
B - Door recess (ft)	--	5
C - Ground floor transparency (%)	60	--
D - Height to bottom of window (ft)	--	2.5
INTERFACE ZONE (IZ)		
Extended sidewalk from right-of-way edge to structure		
OPTIONAL ELEMENTS	MIN	MAX
AWNING or GALLERY		
E - Setback from curb (ft)	2	--
F - Depth (clear) (ft) *(Gallery min 8')	4	10
G - Height (clear) (ft)	8	--
OTHER REQUIREMENTS		
None		



1 **Sec 20.16 Private frontage**

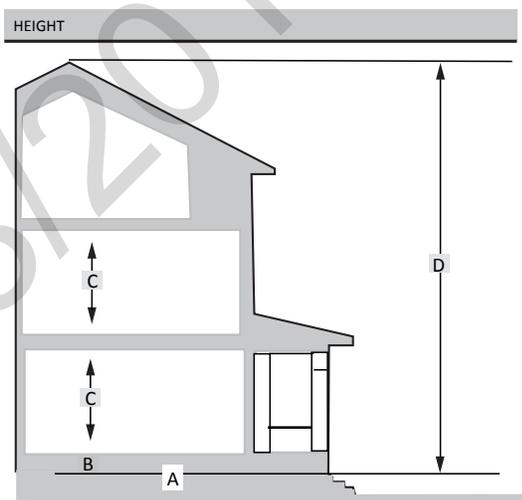
2 The building types in Sec. 20.15 provide the acceptable private frontages (i.e. porches, stoops, etc.) for that
 3 building type. If there are multiple frontages provided in the table, the applicant may choose what private
 4 frontage to provide per building. A minimum of one frontage will be required for new construction when
 5 listed on the chart, by Building Type. The private frontage area may count towards the calculation of the
 6 frontage build out requirement under the "Building Envelope" category, by building type, in Section 20.15.
 7

8 **Sec 20.17 Building height**

9 Each building lot typology in Sec. 20.15 provides the range of height appropriate for the building type. No
 10 new or substantially improved building within the PAG Overlay District and having the underlying zoning
 11 designation of THD, RU-2 Residential, RLM-2 Residential, or RM Residential shall be constructed not to
 12 exceed 28 feet in height to the midpoint of a sloped roof or top of the parapet of a flat or low sloped roof,
 13 and measured from the base flood elevation determined under the most restrictive applicable standard for
 14 the building site, further provided that the overall roof height shall not exceed 32 feet. Base flood elevation
 15 requirements are outlined in Sec. 98-33 of the City's Code of Ordinances.

	MIN	MAX
Building facade requirements:		
A - Base Flood Elevation (BFE) refer to Sec. 98-33		
B - Finished Grade (FG)	Determined by the BFE & FG	
C - Height of Floors (liveable)	8	14
D - Total Height (Measurement from the BFE)	--	--
Residential*	--	28-32*
Commercial (non-residential)	--	Refer to Underlying Zoning District

*Not to exceed 28 feet in height to the midpoint of a sloped roof or top of the parapet of a flat or low sloped roof, and measured from the base flood elevation determined under the most restrictive applicable standard for the building site, further provided that the overall roof height shall not exceed 32 feet.



17
 18 **Sec 20.18 Minimum off-street parking requirements.**

- 19 (a) Residential: Shall be in accordance with the requirements of Division 23 of the Land Development
 20 Code, Off Street Parking and Loading.
 21 (b) Nonresidential: may reduce the number of spaces, if on-street parking is available, then an applicant
 22 can count any on-street parking within 500 feet of the parcel.

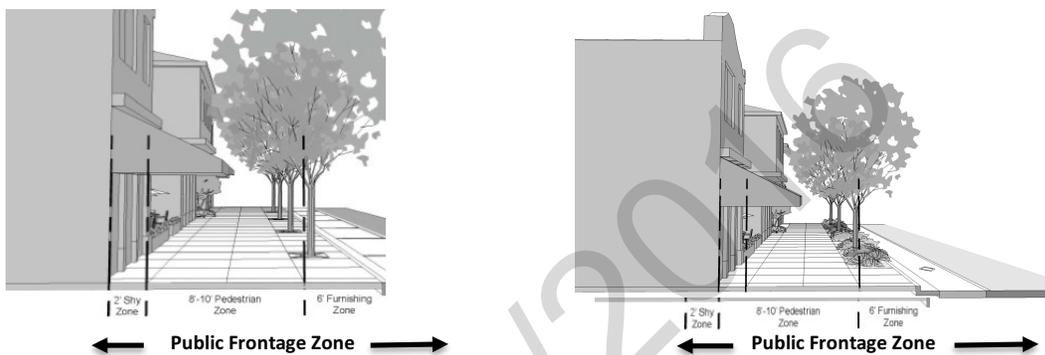
23 **Sec 20.19 Alleyways**

- 24 (a) The PAG Overlay District has existing alleyways that shall be maintained as an alleyway.
 25 (b) Under no circumstance shall an existing alley be reduced in the width and length.
 26 (c) Parking is permitted adjacent to an Alleyway or where the City has identified, through signage, that
 27 vehicles may park within the alleyway. Under no circumstance shall a parked vehicle impede the
 28 vehicular movement.
 29 (d) Alleyways shall not be permanently closed or vacated.

Sec 20.20 Landscaping Standards

(a) Streetscape Standards. When the City requires improvements to the “Public Frontage” Zone which includes: Furnishing zones, pedestrian zones and a shy zone, the following standards shall apply.

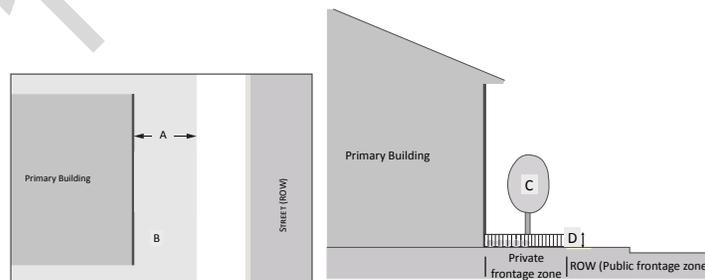
- 1) Furnishing Zone that is a minimum of six feet in depth and may include street lights, benches and canopy trees. A furnishing zone shall include one of the following: Tree Grate Standards. One canopy tree per 30 feet in lineal building shall be provided the entire length of the parcel the building is fronting.
- 2) Planter Beds. A minimum width of 6 feet with a maximum length of 25 feet that contains 1 canopy tree per bed and 100 percent ground cover.
- 3) Pedestrian Zone, 8-10 feet of unobstructed sidewalk
- 4) Shy zone, comprised of 12 inches to 2 feet that includes the area from the edge of the building to the edge of the pedestrian zone.



(b) Landscape Buffers shall not be required between any uses within the PAG Overlay District.

(c) Front Buffers for all Residential building types, excluding the Apartment Building, shall provide the following:

- 1) Front fence or landscape buffer shall be provided and include the following:
 - i. An opaque hedge, height not to exceed 3 feet when fully matured and/or
 - ii. Knee wall and/or fence. Permitted materials are wood, shell or concrete material consistent with the overall architecture and design of the primary residence.



FRONTAGE ZONE (FZ)	MIN	MAX
Stoop structure requirements:		
A - Landscape	grass and or ground cover	
B - Shrubs, ground cover	10 (3 gallon)	--
C - Tree (canopy tree)	1	--
D - Fence Height (feet)	2'	4'

1 **Sec 20.21 Screening of elevated buildings.**

2 A building required by Section 98-33 of the City's Code of Ordinances, to be elevated more than three feet
3 above grade shall mask the fact that it is elevated through the use of appropriate architectural screening so
4 that the building, when viewed from public rights-of-way, appears to have been constructed at, or near,
5 natural grade as follows:

6 (a) Architectural screening shall:

7 1) Create a visual continuity that is integrated with the overall design and architecture of the home
8 using doors, garage doors, entryways, staircase and/or archways.

9 2) No more than 20% of the area being screened can be transparent.

10 (b) Landscape screening shall be installed:

11 1) A minimum 3-foot-wide landscape area

12 2) One understory tree per 20 lineal feet (or portion thereof) of the elevated building length/width
13 viewed from public rights-of way.

14 3) Planted with shrubs, ornamental grasses and groundcovers to provide 100% coverage of the
15 landscape area within one growing season. The landscape design shall (unless spatially
16 impractical) provide layering of plant materials that includes larger background shrubs and low
17 foreground groundcovers. All plant material should be Florida Friendly plantings as defined and
18 identified by University of Florida/IFS horticulture experts.

19 4) Permanent mulch materials, such as organic mulches, stones, and recycled inorganic
20 groundcover materials are not permitted in lieu of vegetation, unless they are provided as
21 accent or focal points that enhance the landscape design.

22 (c) Apartment Building Types (Apartment House, Apartment Building Small and Apartment Building
23 Medium shall also meet the following standards:

24 a. Parking may only be accessed from the side or rear of the building

25 b. No portion of the primary building shall have garage doors facing any street.

26 c. Parking may be located within the BFE provided the primary face of the building is
27 architecturally designed to be consistent with front entryways of homes that are integrated
28 and not visually seen from any street.

29 **Sec 20.22 General building design (residential)**

30 In addition to the required private frontages and the standards provided in each frontage, the following
31 standards shall be applied to all residential building types (House and Apartment Building Types) in order to
32 maintain the overall mass and scale, of the PAG community's existing housing stock.

33 The following standards are included to provide a minimum criteria needed to review the overall design,
34 mass and scale as outlined below while allowing an applicant flexibility in the design of the building. The
35 design criteria are typical design elements used by architects to ensure a higher quality development.

36 Any single family or attached residential must design the building with the following architectural elements:

37 (a) The mass of a building must include:

38 1) Primary Mass. The building shall have a distinct primary mass

39 2) Secondary Mass. A building should also include secondary mass (private frontage
40 requirements) that form the façade of the building.

- 1 3) Voids that allow for natural breaks in the mass
- 2 (b) Proportional design elements shall include:
- 3 1) Rectangular windows in varying, yet similar arrangements
- 4 2) Window size is consistent
- 5 3) Correct vertical visual consistency at the centerline of the façade
- 6 4) Correct ratios of visual width between top and bottom halves of the elevation (bottom ½ clearly
- 7 supports the top)
- 8 5) Overall design shall be symmetrically or asymmetrically balanced.
- 9 (c) Design must include the following rhythms:
- 10 1) Proximity (objects close together complement each other).
- 11 2) Similarity- common textures, colors or features.
- 12

13 **Sec 20.23 General building design (non-residential)**

14 In addition to the required private frontages and the standards provided in each frontage, the following

15 standards shall be applied to non-residential building types only.

- 16 (a) Public entrance. Buildings that are open to the public shall have an entrance for pedestrians from
- 17 the street to the building interior. This entrance shall be designed to be a distinctive and prominent
- 18 element of the architectural design, and shall be open to the public during business hours. Buildings
- 19 shall incorporate lighting and changes in mass, surface or finish which places an emphasis to the
- 20 entrance.
- 21 (b) Building orientation. The primary building entrances shall be visible and directly accessible from a
- 22 street or park space that has a sidewalk or pedestrian path.
- 23 (c) Storefront character. Buildings shall express a “storefront character”. This guideline is met by
- 24 providing all of the following features along the building frontage as applicable.
- 25 1) Regularly spaced and similar-shaped windows with window hoods or trim (all building stories).
- 26 2) Large display windows on the ground floor. All street-facing, park-facing and plaza-facing
- 27 structures shall have windows covering a minimum of 40% and a maximum 80% of the ground
- 28 floor of each storefront’s linear frontage. Blank walls shall not occupy over 50% of a street-
- 29 facing frontage and shall not exceed 20 linear feet without being interrupted by a window or
- 30 entry. Mirrored glass, obscured glass and glass block cannot be used in meeting this
- 31 requirement. Display windows may be used to meet this requirement if the first floor has not
- 32 been design as a flood proof first floor.
- 33 (d) Building façade. Buildings shall provide a foundation or base, typically from ground to bottom of the
- 34 lower windowsills, with changes in volume or material. A clear visual division shall be maintained
- 35 between the ground level floor and upper floors with either a cornice line or awning from 12’ to 16’
- 36 above grade, whichever applies to the proposed development. No more than 20 feet of horizontal
- 37 distance of wall shall be provided without architectural relief for building walls and frontage walls
- 38 facing the street. All buildings excluding single family detached homes shall utilize at least three of
- 39 the following design features to provide visual relief along all elevations of the building:
- 40 1) Divisions or change in materials (materials should be drawn from a common palette).
- 41 2) Window bays.
- 42 3) Separate entrances and entry treatments, porticoes extending at least five (5) feet.
- 43 4) Variation in roof lines.
- 44 5) Balconies: 6’ maximum may project into the front or side street setbacks.
- 45 6) Dormers.
- 46 7) Canopies, extending at least five (5) feet.
- 47 8) Gables.

- 1 9) Overhang extending at least five (5) feet.
- 2 10) Recessed entries (at least three [3] feet from the primary façade).
- 3 11) Protruding entries (at least three [3] from the primary façade).
- 4 12) Covered porch entries.
- 5 13) Cupolas.

6 **Sec 20.24 Design review and required drawings**

7 An applicant shall be subject to the City’s (insert the building permit process). In addition, any
8 development within the PAG Overlay District using the building types as provided in this Division shall
9 submit architectural elevations of all facades of all structures subject to this Division and shall be a
10 required exhibit for plan approval which does not subrogate any requirements outlined in Division 5, Site
11 plan approval procedures, and building permit process. Such exhibits shall include colors, materials,
12 building dimensions, mass and scale proportions, location of service areas and mechanical equipment,
13 screening devices, parking, site furnishings, lighting fixtures, all signage, and any other information as
14 determined necessary to ensure consistency with the intent of this Division. All elevations and overall
15 design must be signed and sealed by a licensed architect registered in the State of Florida and must
16 provide a summary and illustrations that identify each standard listed in Section 20.22 or 20.23 of this
17 Division. The City may request review by the Historic Preservation Board to ensure compatibility of new
18 construction or additions within the PAG overlay district.

19

11/23/2016