

Pass-A-Grille Regulatory Assessment January 2016



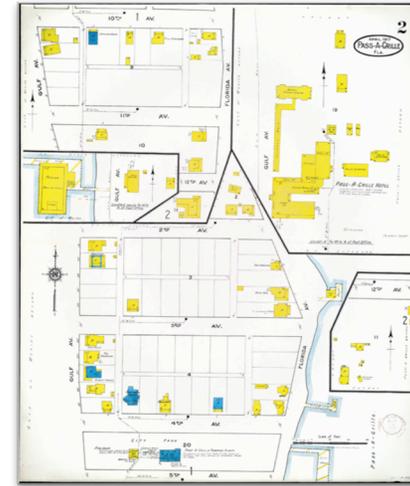
INTRODUCTION

The City of St Pete Beach is revising the existing Pass-a-Grille Zoning Overlay with the commitment to preserve the overall character within the Pass-a-Grille area. The first step of the Zoning Overlay update is to identify and recognize the impediments facing Pass-a-grille with redevelopment of existing and vacant land. The goal will be to support the existing intensity and density already within Pass-a-Grille without increasing the existing density/intensity and use(s) when redevelopment or improvements occur within the Pass-a-Grille Area. The existing Pass-a-grille (PAG) Zoning Overlay is generally bounded by 32nd Avenue to the north, 1st Avenue to the south, Pass-a-Grille Way to the east, and Gulf Way to the west.

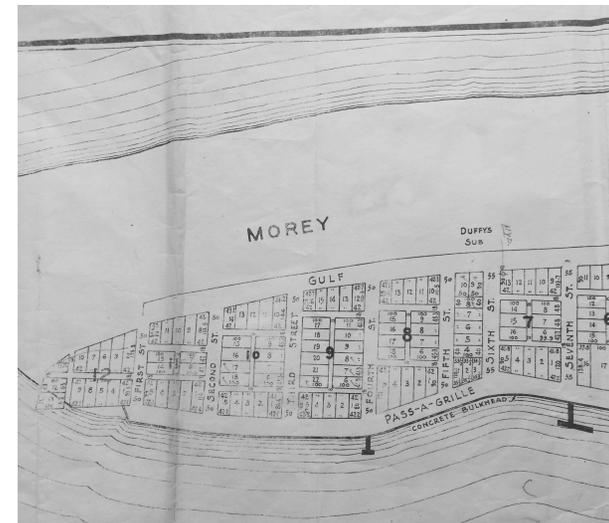
The goal is to preserve the quirky beach village character by recognizing the history and eclectic feel of the community and how it fits within the larger context of St. Pete Beach.

PURPOSE OF REGULATORY REVIEW

To ensure that the quality and integrity of Pass-a-Grille’s historic building and layout can be maintained, an understanding of the existing land use and zoning has been evaluated to determine what, if any, constraints exist from the “built environment” to the development standards applied to the area. Existing regulations can set the framework to redevelopment. The earliest documented maps for the Pass-a-Grille Area were in 1917 (example of the sanborn maps upper right) that reflected the range of housing, retail, and hotels that existed in the area. Much of the platted lots have remained unchanged in almost 100 years. Redevelopment can be a challenge when the development is required to meet standards that had not been required prior to the adoption of regulations. Appendix A, is a matrix that summarizes the Future Land Use’s and Land Development Code requirements that have a significant affect on the redevelopment, expansion of uses and additions within Pass-a-grille.



Sanborn Map, 1917



Town of Pass-a-Grille Parcel Map, 1933

Future Land Use Designation

Each parcel of land is assigned a Future Land Use designation that provides basic parameters for general development including use and design. These basic parameters vary based upon whether or not a property is being regulated through a conventional future land use designation or is permitted to function within an overlay as provided in Future Land Use Element Policy 2.1.1, assignment of land use categories.

- Residential Urban (RU)
- Residential Medium (RM)
- Residential Low Medium (RLM)
- Residential High (RH)
- Residential/Office/Retail (R/O/R)
- Commercial General (CG)
- Recreation/Open Space (R/OS)
- Institutional (I)

Pass-a-grille is predominately assigned residential land use categories that range from permitted densities from 7.5 Dwelling units an acre to 40 Dwelling Units an Acre. Additional land use categories that provide retail and office are predominately located on Pass-a-grille Way with ROR located on the northern side of 7th Avenue, backing up the 8th Avenue Commercial area, which is not part of this study

Two land use categories are the most predominate within the Study Area:

- Residential Urban, 7.5 DU/AC, predominately assigned North of 22nd Avenue to the boundary at 31st Avenue
- Residential Low Medium, 10 DU/AC, predominately 22nd Avenue South of 22nd Avenue to the boundary at 1st Avenue.



RU RLM
[Yellow Box] [Orange Box]

The land use map, above, is a portion of the Future Land Use Map for Pass-a-Grille. The entire Land Use Map series can be found:

<http://spbftp.stpetebeach.org/public/Future%20Land%20Use%20Map.pdf>

Only two parcels have Residential High Designations (facing west from 14th avenue to 13th avenue) and one parcel has Residential Medium (Condominium's south of 1st Avenue and Gulfway). In addition to the RH designation, these two parcels also have the Resort Facilities Overlay, which establishes a ration of 1.67 temporary lodging units to the permitted number of underlying residential units, equating to 50 lodging units.

ISSUE: The land uses applied to the Pass-a-Grille are conflict with the majority, if not all parcels located within the study area, which makes redevelopment a challenge within the study area. Currently, none of the historic existing land use densities match the assigned land use category.

For example: The RU land use permits 7.5 density units per acre. The majority of the lots in the area are 50' x100' and 55' x 100' and in order to be consistent with a 7.5 DU/AC the lot size would be a minimum of 5,808 sq.ft. 4,355

The RLM District permits 10 DU/AC, which would require a minimum size of 4,356 sq. ft. The majority of the lot sizes are 37'-40' x 100-110' which will not meet the existing platted area(s).

POTENTIAL SOLUTION:

Option one: Create a land use for Pass-a-Grille that more accurately reflects the existing context without any net increase of Density that supports the desire to “preserve the village character”.

Option two: Create a land use overlay that provides the existing range of densities that exist in the Pass-a-grille area by developing a special area plan

Option three: update the nonconformity language that permits redevelopment of structures and uses that permit rebuilding with more current standards instead of remodeling existing structures.



General Provisions for Nonconformance

The Comprehensive Plan provides general provisions for nonconforming Residential and Temporary Lodging Uses, Densities and Intensities. While all four provisions apply, the two most noteworthy are:

- **FEMA Compliance Required.** Notwithstanding any statements to the contrary, there is no intention of superseding any regulations of the Federal Emergency Management Agency (FEMA) or National Flood Insurance Program requirements regarding the protection of properties from flood damage.
- **Expansion Prohibited.** There also is no intention of allowing for the expansion of non-conforming uses or an increase in a non-conforming density or intensity of a use as determined by the Future Land Use Plan and Map designation and implementing zoning regulations effective at the time of the event.

ISSUE: The expansion prohibited will have a long term negative affect in Pass-a-grille if the desire it to keep the area’s existing character and context.

POTENTIAL SOLUTION:

The “expansion prohibited” could be modified to support the existing context which has been in place, in Pass-a-grille for close to 100 years, the existing land uses are silent to the mix of housing typologies and boutique hotels. Permitting these existing land uses within the Pass-a-grille area would support the existing character without increasing existing density/intensity.



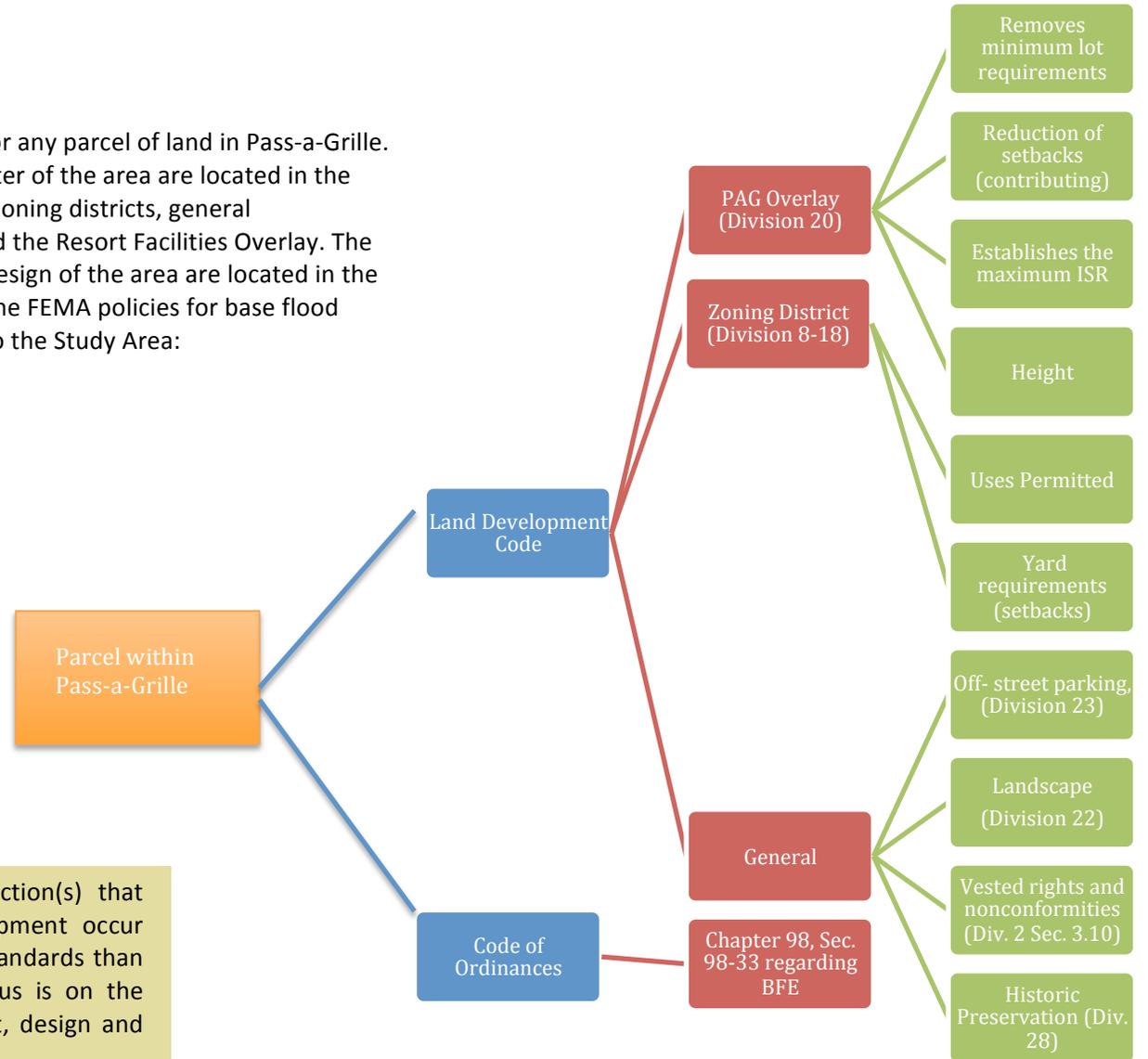
Above and below are existing land uses that exist: small-scale apartment buildings (above) and small-scale boutique hotels (below).



Land Development Policies

The City maintains development requirements for any parcel of land in Pass-a-Grille. The primary requirements that affect the character of the area are located in the City's Land Development Code, establishing the zoning districts, general requirements, the Pass-a-grille Overlay (PAG) and the Resort Facilities Overlay. The major categories influencing the character and design of the area are located in the Zoning District Standards, the PAG Overlay and the FEMA policies for base flood elevation. There are 8 zoning districts assigned to the Study Area:

- Residential (RU-2, RLM-2, RM)
- Residential/Office/Retail (ROR)
- Commercial District (CG-1)
- Recreation Open Space (ROS)
- Tourist Hotel District (THD)
- Institutional (INS)



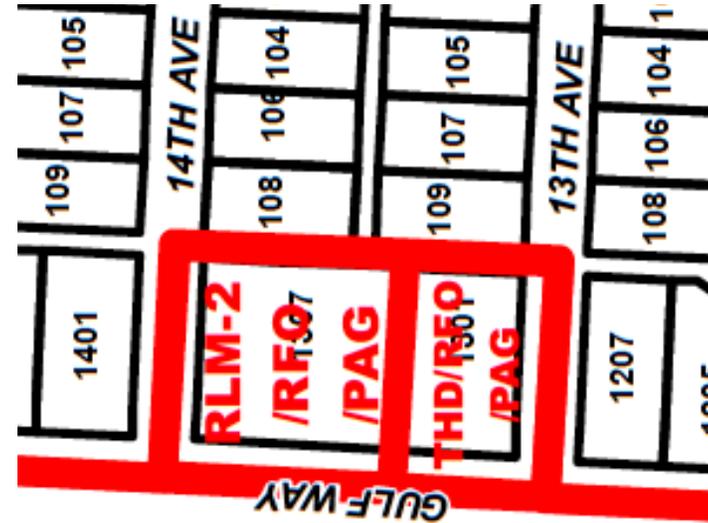
The flow chart summarizes the major section(s) that influence how development and redevelopment occur within Pass-a-Grille. There are more code standards than shown in this flowchart, however, the focus is on the major categories affecting the development, design and character of Pass-a-Grille.

Overlay Districts

There are two overlay districts within the Pass-a-Grille Area:
1) Pass-a-Grille Overlay which encompasses the entire PAG study area boundary. The purpose of this district was to provide modifications to the underlying zoning IF the parcel owner applied for designation to contributing structures to the National Register Historic District to be considered conforming regarding lot size and setbacks. The overlay also:

- Prohibited future subdividing to a smaller size than the platted lot of record
- Permits the reduction in setbacks for “contributing” structures, which exclude additions, and accessory structures.
- Established a height measure for THD, RU-2, RLM-2 or RM Residential Districts that had allowed for a range of heights from 30-35’.

2) Resort Facility Overlay (RFO). The RFO purpose is to allow transient accommodations in addition to the uses permitted in the underlying zoning district. Only four parcels within the PAG have this overlay as seen in the map to the right. One of the three parcels are under construction for single-family homes, the other two are for sale as Single family home(s) and the remaining parcel has an existing Inn: Sabal Palms Inn (far right building in the photo to the right).



ISSUE: The entitlements that have been permitted within the block facing gulf way from 13th avenue to 14th avenue will have significant challenges if the parcel opts to construct transient accommodations. The Sabal Palm Inn has 10 transient units ranging from studio’s to one bedrooms with a maximum capacity, per their website, of 35 people with a total building sq.ft. of 5,524 (included two stories). If the parcel were to redevelop and be required to meet the minimum unit size per the RFO district of 2,609 sq.ft. per transient unit, this inn would only be able to provide two units. The THD Zoning does not establish a minimum transient unit size and would be more flexible for the redevelopment of the site. The open space requirement for such a small parcel, would significantly impact the redevelopment of this site.

POTENTIAL SOLUTION:

Develop a building typology that meets the intent of the underlying land use and the context of the area that permits a transient use that is reflective of the areas context and character.

Zoning Districts

The eight zoning districts assigned to the Pass-a-Grille area, as identified early in this document, provide for a range of site design parameters, by zoning district. There are two predominate zoning districts assigned in the Study area- RU-2, from the northern most area as 22nd Avenue to 31st Avenue and RLM-2, from 22nd Avenue to 1st Avenue.

The uses permitted in the Pass-a-grille Area, dependent of the zoning classification range from:

- Single-family, two-family and multifamily residential
- Office
- Retail
- Transient uses
- Places of worship
- Recreation and Open Space

The Zoning districts also establish the site parameters for:

- Setbacks (front, side, rear)
- Maximum floor area ratio (FAR) for non-residential uses.
- Minimum lot size and width are exempt per the PAG Overlay.



Zoning Map of Pass-a-Grille (portions of the maps, the entire series of maps can be reviewed on the City's website: http://www.stpetebeach.org/images/stories/community-department/pdfs/zoning_book_2012.pdf)

A challenge within the zoning districts is to meet the setback requirements, by zoning district and still fit with the overall context and character of the area. There is a provision in the PAG overlay, if a parcel goes through the “voluntary process” of obtaining a certificate of appropriateness for a contributing structure, the setbacks can be modified for an “existing structure” it is not permitted to modify during an addition or accessory structure. The PAG overlay removes the requirements of lot width and depth but not the overall setbacks and if a vacant lot were to develop, the existing setbacks, by zoning district prevail.

ISSUE:

The redevelopment of small parcels, will create many challenges during the site plan process. For example, if a parcel is located in the RLM-2 district with a 35’ x 100’ lot size, they will only have a building footprint of 28’ X 60’ (roughly 1680 sq.ft.) however a driveway, accessory buildings and landscape will also reduce the building footprint. The primary building will sit back farther from the sidewalk and street than most of the existing buildings. The removal of lot width/lot depth will not provide any relief for redevelopment.

POTENTIAL SOLUTION:

Develop “building typologies” that fit the character and context of Pass-a-grille.



The consistent view along the local streets in Pass-a-grille and the setbacks all relate to the preservation of the overall character of Pass-a-grille. The commercial properties also front the streets, however, the current zoning requirements would require the setback condition in the photo on the bottom left.

General Standards in the Land Development Code

While there are many general standards that a parcel of land must meet prior to the issuance of a building permit, the following categories can be the most challenging to meet and may also affect the overall existing character of Pass-a-Grille.

Landscape

The provisions in the land development code that require buffers from certain uses are problematic for the non-residential and attached multifamily within Pass-a-grille.

Off-street Parking

The calculations for parking, by use, are not consistent with the context of the area and should be modified. The on-street parking should be factored in, where appropriate.

Historic Preservation

Pass-a-Grille has been well documented and has continued to update a Historical site survey for the entire area within the PAG Overlay. The newest update was completed in April 2015, which included previously surveyed resources and added additional resources that total approximately 262 resources that are properties that include more than one contributing building, usually a contributing garage or secondary dwelling. The completed report is located on the city's website and can be accessed at <http://spbftp.stpetebeach.org/public/HRS.pdf>

The city's historic preservation board determines the historic significances of sites and structures; designates historically significant resources, protects voluntarily designate historic resources by requiring the issuance of certificates of appropriateness before allowing alterations to these



The photo's illustrate landscape (top), parking (middle) and historic preservation (bottom) examples found in Pass-a-grille.

resources; and encourages historic preservation by providing incentives to encourage the sensitive rehabilitation and use of designated historic resources. One of the incentives is for an applicant to maintain the original historic structure without being required to meet flood management regulations that are discussed in the following section (code of ordinances) of this regulatory review and the required setbacks are reduced to reflect the historic setbacks prior to the assignment of a zoning district. However, any addition or accessory use would be required to meet the zoning districts standards.

ISSUE: The incentives in place for historic preservation are not strong enough to “encourage” the restoration of a structure.

POTENTIAL SOLUTION:

Option One: The Historic Sites Survey completed in April 2015 made several recommendations that should be considered: Designate the historic sites survey are as a local historic district which will not require individual property owners from the certificate of appropriateness and act as a streamlining to variances for the setbacks of the parcel and flood management regulations, and can benefit from the historic structure Rehabilitation Tax credit Program.

Option two: Create a range of building types that reflect the historic building typologies that only address bulk and mass.

Vested Rights and Nonconformities

Out of all the regulations that are in place, Division 3, sec.3.10 Vested rights and nonconformities is the most challenging of all requirements for the Pass-a-grille area. The following situations occur throughout the PAG Overlay:



The Historic Survey was updated in April 2015 and reflects the wide range of building types and uses in the Pass-a-Grille Area.

- Lot size and lot width is not consistent with the zoning or land use.
- The permitted uses are not consistent with the existing uses that have existing for well over 90 years.
- The existing intensity/density is inconsistent with the underlying land use and zoning districts.

In order to meet the intent and goals of the Pass-a-Grille Area, as identified during previous public and visioning efforts, the nonconformity regulations should consider the uniqueness and existing character that the community wants to maintain. Currently, the provisions in Sec.3.10 would lend conversions of most apartments, two-family homes, mother-in-law suites, boutique inns to become obsolete and the potential to reduce the mix of housing and uses that has existed in the area dating back to the Sanborn Maps of 1917.

ISSUE: The nonconformity requirements will impede the City’s ability (as identified in other redevelopment areas that have already been provided modifications to the LDC) to improve the overall public safety through the implementation of current building codes. It also creates an incentive for current landowners to remodel than to rebuild to current standards while risking the decline in reinvestment for all of Pass-a-Grille.

POTENTIAL SOLUTION:

Option One: Modify the nonconforming language that creates special provisions for pass-a-grille, providing “limited use” standards that permit apartment houses, buildings, transient lodging to be maintained ONLY where these uses currently exist.

Option two: Create a range of building types that reflect the historic building typologies that only address bulk and mass and place a limitation on the location and use of such types that maintain the historic placement of the use without further expanding the use to other parcels.



This apartment house wanted to add balconies, however, this would have created an expansion of a nonconformity; the end result is shown in the photo. The photo below shows some need for updates, however there is a disincentive to do so as written in the code.



CODE OF ORDINANCES

Pass-a-grille is required to meet the elevation requirements in Sec. 98-33, Florida Building Code, residential. In brief, “The elevation requirements are that all buildings and structures erecting with the coastal high hazard areas shall be elevated so the lowest portion of all structural member supporting the lowest floor (some exceptions) is elevated to or above the base flood elevation.”

The National Flood Insurance Program (NFIP) developed specific policies on historic structures and the requirements of base flood elevations (BFE) for flood plain management. The purpose of this floodplain management bulletin is to explain how the National Flood Insurance Program (NFIP) defines historic structure and how it gives relief to historic structures from NFIP floodplain management requirements (44 CFR §60.3). The NFIP gives special consideration to the unique value to historic buildings, landmarks and sites. To read the bulletin, you can download at <https://www.fema.gov/media-library/assets/documents/13411>.

The current requirement for a parcel of land to redevelop without providing the BFE requirements is to go through the city’s Historic Preservation guidelines as described above.

ISSUE:

New development within Pass-a-Grille is required to have a 5-6 foot elevation to meet the building code requirement. The current code establishes only a minimum requirement which has resulted in some buildings to be designed for parking underneath. However, there are also examples that keep the character and context of Pass-a-Grille while meeting the BFE requirements.

POTENTIAL SOLUTION:

Develop a permitted range of designs for the private frontage area of a building that is consistent with the overall character of the area as seen in the photo’s to the right.



The top right photo is an example of adding onto a historical home, the other photos are showing a range of new construction that has met the BFE requirements.

Land Development Code Reform

The challenge to preserve the overall character and uniqueness of Pass-a-grille has been ongoing through the use of the city’s current land use, zoning and performance based standards. The use of a form based code approach that incorporates building types that reinforce and confirm the existing character of Pass-a-Grille.

In this approach, the code is organized through different building types, each defined by specific development standards regulating the configurations, features, and functions of buildings. The building types and their accompanying development standards are applied to different blocks and districts within the planning area. The size and scale of Pass-a-grille is conducive to the integration of using Building Typologies.

The range of building types found in Pass-a-grille (excluding 8th avenue) are:

- Estate Home
- House (single family, duplex, triplex, quadplex)
- Cottage House
- Apartment House
- Courtyard Apartment
- Apartment Building
- Small Hotel
- Institution (places of worship)
- Single Story Commercial/Office

In addition to developing “cut sheets” for Pass-a-grille, the issues and potential solutions provided throughout this report should also be considered as part of the overall approach to updating the Pass-a-Grille Zoning Overlay.

DQ DUPLEX/ QUADRAPLEX

A building lot located and designed to accommodate a detached building which resembles a large house but which contains multiple dwellings above and beside each other.

LOT REQUIREMENTS	URBAN		SUBURBAN	
	MIN	MAX	MIN	MAX
A - Lot Width (ft)	40	70	50	70
B - Lot Depth (ft)	100	120	110	150
C - Lot Size (sf)	4,000	8,400	5,500	10,000
D - Lot Coverage (%)	-	60	-	60

BUILDING ENVELOPE	URBAN		SUBURBAN	
	MIN	MAX	MIN	MAX
E - Street Setback (ft)	Refer to specific street type for setback:			
- Type I	10	20	10	20
- Type II	10	20	10	20
- Type III	10	20	10	20
- Type III-A	5	10	5	10
- Type III-B	5	10	5	10
- Local	5	20	5	20
F - Side Setback (ft)	5	-	8	-
G - Rear Setback (ft)	20	-	25	-
H - Frontage Buildout (ft)	60	80	60	-

ACC STR ENVELOPE	URBAN		SUBURBAN	
	MIN	MAX	MIN	MAX
I - Street Setback (ft)	30	-	30	-
J - Side Setback (ft)	10	-	25	-
K - Rear Setback (ft)	10	-	10	-

BUILDING HEIGHT	URBAN		SUBURBAN	
	MIN	MAX	MIN	MAX
M - Principal Building (st)	2	3	2	3
N - Accessory Structure(s) (ft)	-	30	-	30

PARKING PROVISIONS		
Location	Zone 2 and 3	Zone 1,2,3, and 4
Allowable Frontages	P, S	P, S

Above is an example of a “building cut sheet” the parameters can be calibrated to the specific standards needed to ensure the compatibility and the needs within Pass-a-grille. Typical standards are: lot requirements (size, width), building envelope, accessory structure, building height parking provisions and private frontage requirements.

APPENDIX A:

Matrix of Regulatory Assessment

	Residential Urban (RU)	Residential Low Medium (RLM)	Residential Medium (RM)	Residential High (RH) and RFO (RFO)	Residential/Office/Retail (R/O/R),	Commercial General (CG)	Institutional (I)	Recreation/Open Space (R/OS)
FLU Category								
Primary Uses (Comp Plan)	Residential	Residential	Residential	Residential (RH) and transient accommodation (RFO)	Residential, office and retail	Commercial, residential and temporary lodging units	Public/private schools; Hospital; Medical clinic; Church, other religious institution; Social/public service agency; Child day care; Fraternal or civic organization; Municipal offices/public buildings;	Public and private open spaces
Density	7.5 DU/AC	10 DU/AC	15 DU/AC	30 DU/AC RH 18 DU/AC RFO transient use calculation shall not exceed a ratio of 1.67 transient accommodation units to the underlying residential	18 DU/AC or 30 Temporary lodging units per AC	24 DU/AC, temporary lodging 40DU/AC	12.5 DU/Acre	N/A
FAR	0.40	0.50	0.50	0.60	0.40	0.55	0.65	0.25
ISR	0.65	0.75	0.75	0.85	0.85	0.85	0.85	0.60
Residential Equivalent Use	2.0-3.0 beds at 7.5du/ac	2.0-3.0 beds at 10 du/ac	2.0-3.0 beds at 15 du/ac	2.0--3.0 beds at 30 du/acre RH and 18 DU/AC for RFO	2.0-3.0 beds at 15 du/ac	Assisted living facility Residential equivalent uses shall not exceed an equivalent of 2.0 to 3.0 beds per dwelling unit at 24 units per acre.	2.0-3.0 beds at 12 du/ac	n/a

	Residential Urban (RU)	Residential Low Medium (RLM)	Residential Medium (RM)	Residential High (RH) and RFO (RFO)		Residential/Office/Retail (R/O/R),	Commercial General (CG)	Institutional (I)	Recreation/Open Space (R/OS)
FLU Category									
ZONING CATEGORIES	RU-2	RLM-2	RM	THD	RFO	ROR	CG-1	INS	R/OS
Location	22nd avenue north-31st ave (south side)	22nd avenue - 1st ave	32nd ave-31ave (north side) and condo on 1st ave south	FLU only 14/13 avenue beach side)	parcel 13 ave/ gulfway also has RFO and the adjacent parcel	south side of 7th avenue north and Pass-a-grille way between 11th ave and 10th ave	Pass-a-grille way 21st avenue south on the east side	Sporadic, assigned to churches	Warren Park
Zoning uses	single family residential, detached single family only and shall not be used for transient occupancy	single-family, multifamily and two family	single-family, multifamily and two family	Temporary lodging facilities, accessory uses: Retail sales (limited 100 sq.ft), office space for administration meeting/conference rooms, fitness facilities	Underlying Zoning (refer to RLM-2), conditional uses= transient accommodations (bed and breakfast inns and motels)	mixed use areas - Office, residential (sf, mf, 2 unit), retail sales, social service agencies, laundries, financial institutions no drive thru's, eating and drinking (sit down	variety of non residential and transient accommodations (no residential however, the FLU permits)	Places of worship with fewer than 100 seats in main sanctuary, utility substations, public facilities	public parks and/or recreational facilities
PAG Overlay	Transient occupancy in single-family dwellings, so long as any such transient occupancy of less than 30 days does not occur more than three times in any 12-month period on any parcel.						N/A	N/A	N/A
Front setback	20'	20'	20'	20'	20'	20'	25'	25'	N/A

	Residential Urban (RU)	Residential Low Medium (RLM)	Residential Medium (RM)	Residential High (RH) and RFO (RFO)	Residential/Office/Retail (R/O/R),	Commercial General (CG)	Institutional (I)	Recreation/Open Space (R/OS)
FLU Category								
PAG contributing structure (additions or accessory structures)	10'							N/A
Secondary front	10'	10'	10'	10'	10'	15'	15'	N/A
PAG contributing structure (additions or accessory structures)	5'							N/A
Side yards	10% of lot width	10% of the lot width	10% of the lot width	10% of the lot width	10% of the lot width	10% applicable to properly lines defining the zoning lots	10' or 10% of the lot width (whichever is greater) to a max of 20'	N/A
PAG contributing structure (additions or accessory structures)	10% of the lot width (each)							N/A

	Residential Urban (RU)	Residential Low Medium (RLM)	Residential Medium (RM)	Residential High (RH) and RFO (RFO)		Residential/Office/Retail (R/O/R),	Commercial General (CG)	Institutional (I)	Recreation/Open Space (R/OS)
FLU Category									
Rear yards	20'	20'	20'	20'	20'	20'	25'	15'	N/A
PAG contributing structure (additions or accessory structures)	10'								N/A
Minimum Lot area	6,000 sq.ft.	4,400 sq.ft. SF detached MF and 2-Family 4,356 sq.ft for each dwelling unit	5,000 sq.ft SF Detached and 2-family, multifamily and attached SF- 2,904 sq. ft. per dwelling unit	3,500 sq.ft	SF/MF refers to RLM-2-Transient: Lot area: 2,609 square feet for each transient accommodation unit other than bed and breakfast inns which shall be developed in accordance with the requirements of section 6.2. (bed and breakfast inns)	Detached SF and other uses: 5,000 sq.ft. Attached, multi-family and transient accommodations : Lot area: 2,904 square feet for each dwelling unit or transient accommodation unit, pursuant to section 6.6 of this Code	5,000 sq. ft. Lot area: 1,452 square feet for each transient accommodation unit, plus the required lot area determined under the requirements of section 15.11 for portions of the development allocated to retail sales, office space.	1 acre for place of worship/school; 25,000 sq.ft. for any other use	N/A
PAG Overlay	Lots of record within the Pass-a-Grille Overlay shall be deemed conforming despite the width and size regulations in the underlying zoning district, so long as the lots are not further subdivided. No more than two lots of record may be combined to accommodate additions to existing structures or new construction								
Lot width	60'	40 SF detached/50 feet for 2family and multi-family dwelling	50'	50'	underlying for residential development/ 50' for transient use	50'	50'/ 100' for hotel	100'	N/A

	Residential Urban (RU)	Residential Low Medium (RLM)	Residential Medium (RM)	Residential High (RH) and RFO (RFO)		Residential/Office/Retail (R/O/R),	Commercial General (CG)	Institutional (I)	Recreation/Open Space (R/OS)
FLU Category									
PAG lot width and depth	No minimum								N/A
Height	30'	30'	35'	See below		30'	50'	30' except places of worship 50'	N/A
Height for PAG Overlay (residential and transient uses)	Residential and Transient structures: New construction or any improvements to any buildings within shall not exceed 28 feet in height to the midpoint of a sloped roof or top of the parapet of a flat or low sloped roof (less than 4:12), and measured from the base flood elevation determined under the most restrictive applicable standard for the building site, further provided that the overall roof height shall not exceed 32 feet.						only applies to THD, RU-2, RLM-2 or RM		
FAR	0.40	0.40	0.50	No new structure shall be larger in aggregate SF than the structures which occupied the site prior to redevelopment, except Building Official may allow 5% increase in the agg sq.ft. overall, plus the min. necessary increases in agg sq.ft.		0.40	0.55	0.65	0.25
ISR Residential	0.70	0.70	0.70	0.65	underlying RLM-2)	0.70	0.70	0.80	0.6

	Residential Urban (RU)	Residential Low Medium (RLM)	Residential Medium (RM)	Residential High (RH) and RFO (RFO)		Residential/Office/Retail (R/O/R),	Commercial General (CG)	Institutional (I)	Recreation/Open Space (R/OS)
FLU Category									
ISR Non residential	0.65	0.75	0.75	0.65	0.70	0.85	0.90		
Open space	No requirement				30% of the net buildable lot shall be maintained as green space	30% of the total required areas shall be maintained as green space	30% of the total required areas shall be maintained as green space	N/A	N/A
Parking *division 23	2 spaces per residential unit					2 spaces per residential unit, 1 per 300 sq.ft. for office, 1 per 200 SF floor area for Office, 1 per transient unit plus 1 additional per 10 transient unit and other spaces for additional accessory uses		1 per 3 seats in auditorium or chapel area and same as commercial space designations in CG	
Landscaping (One and two family residential)	one and two family dwellings 3,500- 6,00 sq.ft. 2 trees, 6,000 to 7,500- 3 trees, 7,501-10,000 sq.ft. 4 trees.								N/A
Landscaping (multifamily and non residential)	N/A	front buffer determined by the adjacent right-of-way width, OR., 25 foot ROW= 2.5' of landscape buffer							

	Residential Urban (RU)	Residential Low Medium (RLM)	Residential Medium (RM)	Residential High (RH) and RFO (RFO)	Residential/Office/Retail (R/O/R),	Commercial General (CG)	Institutional (I)	Recreation/Open Space (R/OS)
FLU Category								
Vehicular Use Areas	N/A	1 tree for every 30l.f., entire boundary of VUA to be buffered, hedge 2' in height around the entire length of the area						
ROW Buffer	N/A	5-15' buffer along ROW						
Buffer types	N/A	Ranges from 10'-45', depending on the use, what is adjacent to and size of landscaping.						