

ORDINANCE #2016-19

AN ORDINANCE OF THE CITY OF ST. PETE BEACH, PINELLAS COUNTY, FLORIDA, REPEALING AND REPLACING DIVISION 20 OF THE LAND DEVELOPMENT CODE, PAG PASS-A-GRILLE OVERLAY DISTRICT, INCORPORATING LANGUAGE AS OUTLINED IN EXHIBIT A; PROVIDING FOR THE REPEAL OF ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of St. Pete Beach Land Development Code implements the goals and policies of the City’s Comprehensive Plan and encourages the preservation of residential neighborhoods; and

WHEREAS, the Pass-a-Grille neighborhood is essentially a “built out” community with the first structures being erected in roughly 1900; and

WHEREAS, the City Commission has a commitment to preserve the overall character within the Pass-a-Grille neighborhood, generally from 32 Avenue south to the end of the island; and

WHEREAS, the City Commission recognizes the constraints that have been imposed on the district with the incorporation of Euclidean performance based zoning codes; and

WHEREAS, the City Commission approved a consultant to begin working on a form base code for the neighborhood in September of 2015.

NOW, THEREFORE, THE CITY COMMISSION OF THE CITY OF ST. PETE BEACH, FLORIDA, HEREBY ORDAINS:

Section 1. Recitals. The above recitals (“Whereas” clauses) are hereby adopted as legislative findings, purpose and intent of the City Commission.

Section 2. The Pass-a-Grille Overlay, Division 20 of the Land Development Code, is repealed and replaced in its entirety as illustrated in “Exhibit A”.

Section 3. All Ordinances or parts of Ordinances, in conflict herewith are hereby repealed to the extent of any conflict with this Ordinance.

Section 4. If any portion or part of this Ordinance is declared invalid by a court of competent jurisdiction, the valid remainder hereof shall remain in full force and effect.

Section 5. This Ordinance shall become effective upon adoption.

* * * * *



Deborah Schechner, Mayor

FIRST READING: 02/14/2017

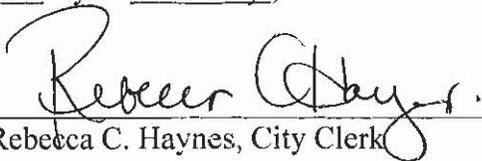
PUBLISHED: 02/03/2017

SECOND READING: 02/28/2017

PUBLISHED: 02/17/2017

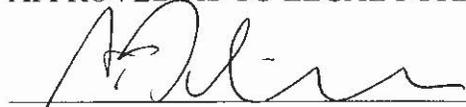
PUBLIC HEARING: 02/28/2017

I, Rebecca C. Haynes, City Clerk of the City of St. Pete Beach, Florida, do hereby certify that the foregoing Ordinance was duly adopted in accordance with the provisions of applicable law this 28th day of February, 2017.



Rebecca C. Haynes, City Clerk

APPROVED AS TO LEGAL FORM AND CORRECTNESS:



City Attorney
Andrew Dickman, Esq.

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DIVISION 20 - PASS-A-GRILLE OVERLAY DISTRICT

Sec 20.01 Purpose and intent.

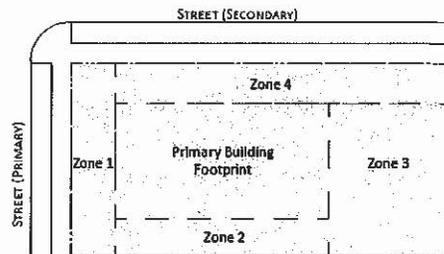
The City recognizes that the Pass-a-Grille Area was developed prior to the the development of suburban zoning regulations. The (PAG) Pass-a-Grille Overlay District is intended to allow for structures that are considered contributing to the National Register Historic District to be considered conforming regarding base flood elevations and uses of property within the Pass-a-Grille area situated south of 32nd Avenue, in order to ensure that structures and uses will be compatible with the character of existing development, including the area within the designated Pass-a-Grille Historic District. Also, to recognize that the existing parcel size's, uses and overall character of the PAG shall be permitted to continue as viable uses while allowing for improvements to existing structures, additions and new development that is consistent with the existing mass and scale within the District.

Sec 20.02 Definitions

- (a) Accessory structure envelope means provisions for the setbacks and maximum building footprints permitted for accessory structures.
- (b) Balance means the relationship among the elements of a building on either side of an imaginary centerline through the middle of a building. Buildings are either symmetrically or asymmetrically balanced.
- (c) Balanced, Asymmetrically means the shape(s) and design of a building may not match exactly, but instead have equal visual weight they are still visually balanced.
- (d) Balanced, Symmetrically means the shapes on one side of the centerline match the shapes on the other side. The two halves are visually equally.
- (e) Building height: Provisions for permitted heights in feet (ft). The maximum height for first floor residential development shall be fourteen (14) feet and twenty (20) feet for non-residential. The maximum height for second story and higher shall not exceed fourteen (14) feet. Each building lot typology provides the range of height appropriate for the building type. No new or substantially improved building within the PAG Overlay District and having the underlying zoning designation of THD, RU-2 Residential, RLM-2 Residential, or RM Residential shall be constructed not to exceed 28 feet in height to the midpoint of a sloped roof or top of the parapet of a flat or low sloped roof, and measured from the base flood elevation determined under the most restrictive applicable standard for the building site, further provided that the overall roof height shall not exceed 32 feet. base flood elevation requirements are outlined in Sec. 98-33 of the City's Code of Ordinances.
- (f) Building envelope: Provisions for the minimum and maximum setbacks permitted by front, side, and rear yards. There is a minimum and maximum setback for each lot type. The maximum and minimum frontage refers to the proportion of the lot width along which the primary building façade must be within the minimum and maximum front setback.
- (g) Compatible design means architectural design and construction that will fit harmoniously into the district based on scale, materials, and quality of construction with adjacent buildings and structures.

- (h) Lot requirements: Provisions for minimum and maximums, lot depth, lot size and the permitted lot coverage.
- (i) Mass, Primary: largest shape of a building.
- (j) Mass, Secondary: additional shapes that form the façade of the building
- (k) Parking provisions: The amount of parking shall be determined by Division 23 of the Land Development Code. Parking provisions provide zones where parking is permitted. The parking zone refers to any uncovered parking area located on the parcel. Driveways are permitted in any zone provided the frontage requirements have been met as required by building type. The diagram illustrates a Primary and Secondary street. Primary streets are streets that are addressed to the parcel of land. Secondary streets may or may not have access to the parcel. Zones are defined and illustrated by the lot area between the principal building frontage and:

- 1) Zone 1: the right-of-way of any primary street.
- 2) Zone 2: any common interior lot line.
- 3) Zone 3: any rear lot line.
- 4) Zone 4: the right-of-way of any secondary street.



- (l) Private frontages, refers to the area that is attached or integrated into the primary building.
- (m) Proportion means the relationships of one part of a façade to the whole. A house that is correctly proportionate establishes a visual relationship between all parts of its exterior. The voids, primary, and secondary masses should all be proportional to one another in order maintain architectural harmony.
- (n) Proximity means that objects that are close together should complement each other.
- (o) Rhythm means the use of repetitive elements in order to establish architectural harmony. It is based off of **three main principles**: the principle of **Proximity**, the principle of **Similarity**, and the principle of **Continuation**. These principles are part of a larger set known as *Gestalt Principles*.
- (p) Similarity means how our eyes are easily able to group objects together that share common textures, colors, or features
- (q) Voids means windows, doors, or other openings that create negative space allowing for breaks within a primary or secondary mass.

Sec 20.03 Permitted principal uses and structures.

Subject to the provisions or restrictions contained in this section and elsewhere in this Code, permitted uses and structures in the PAG Overlay District are as follows:

- (a) All uses permitted in the underlying Zoning District; and
- (b) Transient occupancy in single-family or multi-family dwellings, so long as any such transient occupancy of less than 30 days does not occur more than three times in any 12-month period on any parcel.
- (c) Uses that are in existence, upon date of adoption, shall be permitted as limited uses within an existing structure. Additions, improvements and renovations will be permitted, if the building meets the standards set forth in this Division of the Code.

Sec 20.04 Permitted accessory uses and structures.

- (a) Uses and structures, as regulated in sections 6.12 and 6.13, which are customarily accessory and clearly incidental and subordinate to permitted or permissible uses and structures, and are not of a nature prohibited under section 20.5.
- (b) Home occupations, subject to the conditions set forth in section 6.5 of this Code.
- (c) Residential docks, including tie poles, shall be in conformance with the provisions of section 6.23 and other applicable codes and ordinances of the city, county or state.
- (d) Temporary structures shall follow the provisions of section 6.11.

Sec 20.05 Allowable conditional use.

Subject to the provisions or restrictions contained in this section and elsewhere in this Code, allowable conditional uses in the PAG Overlay District are as follows:

- (a) All permitted conditional uses allowed for in the underlying zoning district.

Sec 20.06 Prohibited uses and structures.

All uses and structures not of a nature specifically or provisionally permitted herein or within the underlying Zoning District are hereby prohibited in the PAG Overlay District.

Any use which the City Commission, upon appeal, and after investigating similar uses elsewhere, shall determine to be potentially noxious, dangerous or offensive to residents of the PAG Overlay District or to those who pass by on public roadways, by reason of odor, smoke, noise, glare, fumes, gas, fire, explosion or emission of particulate matter or likely for other reasons to be incompatible with the character of the PAG area, is hereby prohibited in the PAG Overlay District.

Sec 20.07 Density, intensity and assembly of parcels.

- (a) The maximum residential density permitted in the PAG Overlay District shall not exceed the number of units per acre permitted by the underlying Future Land Use map for undeveloped parcels of land.
- (b) The existing residential density, exceeding one density unit, of an existing residential structure shall be permitted to rebuild on the existing parcel of land, with the same density as the existing structure(s) has, if the building was constructed prior to (insert adoption date) and can meet the lot requirements, by building type, in Sec.20.15 of this Division. In addition, any new construction cannot exceed the existing developed square footage and must match the existing form and mass as defined in Sec. 20.22 herein.
- (c) The existing Hotel/Motel units shall be permitted to rebuild on the existing parcel of land, with the same number of units that already exist as a rental/leasable room within the existing built hotel if the building was constructed prior to (insert adoption date) and can meet the lot requirements of a Boutique Hotel Building Type as provided in Sec. 20.15 of this Division.
- (d) No more than two lots of record may be combined to accommodate additions to existing structures.

Sec 20.08 Maximum floor area ratio.

Maximum floor area ratio (FAR) for non-residential uses: Underlying Zoning District requirements.

Sec 20.09 Maximum impervious surface ratio.

If a parcel opts for new construction or addition to a single family home using the underlying zoning district standards, the ISR shall be determined by the underlying zoning district. The ratio's listed below are subject to any of the building types, defined in Sec. 20.15 that are used.

Maximum impervious surface ratio (ISR) for residential and transient accommodation uses: 0.70.

Maximum impervious surface ratio (ISR) for non-residential uses: Underlying Zoning District requirements or existing building footprint.

Sec 20.10 Reduced setbacks for contributing structures granted a certificate of appropriateness.

Proposed additions to contributing structures may be eligible for a reduction in setback requirements if the proposed plans have been reviewed, approved, and issued a certificate of appropriateness by the Historic Preservation Board pursuant to Division 28. The purpose of this regulation is to ensure the design is compatible design with neighboring structures.

Design review shall be based on the requirements set forth in the underlying zoning district and the PAG Overlay District herein and for consistency with the Secretary of Interior's Standards for Rehabilitation. If the Historic Preservation Board finds that an addition is consistent with the Secretary of the Interior's Standards and that the addition would not preclude the structure's continued designation as a contributing structure, and approves a certificate of appropriateness for the plans, then the applicant can request a reduction to any and all of the setbacks, provided the setbacks are consistent within the same block of the proposed addition by providing the historical setback data for the street block (both faces) the parcel is on and the historical setbacks along that particular street that will be evaluated by the Historic Board. The following setbacks shall be considered:

Setback	
Front yard	10 feet
Secondary front yard	5 feet
Side yard	10 percent of the lot width (each)
Rear yard	10 feet

The addition must still meet impervious surface, floor area, height, herein and the landscaping, and buffering standards as identified in this Division. The reductions in setbacks do not abrogate the responsibility of the designer or homeowner to incorporate these requirements into the plan.

Sec 20.11 Minimum building type requirements.

Lots of record within the PAG Overlay District shall be deemed conforming despite the width and size regulations in the building types, so long as the lots are not further subdivided, and the condition existed prior to the adoption of the Division. No more than two lots of record may be combined to accommodate additions to existing structures.

Sec 20.12 Subdivision of lots

Lots within the PAG Overlay District shall not be subdivided to a size smaller than the platted lot of record and/or building lot types in this Division. Existing structures that are listed as contributing structures in the most recent Historic Resources Survey or that are locally designated historic structures are exempt from the setbacks imposed by this Division; however, additions and accessory structures shall comply with the standards in Section 20.15, by building type. All other structures shall also comply with the setbacks and required yards imposed by the building types in this Division, Sec. 20.15.

Sec 20.13 Residential development option for single-family homes

Any parcel within the PAG Overlay District with a Residential Zoning District designation of RU-2, RLM-2, or RM may develop a single family residential house using the underlying residential zoning standards for additions or new construction: If an applicant uses the underlying residential zoning district standards, for new construction or additions the following standards shall be met:

- (a) Underlying Zoning Districts minimum lot requirements,
- (b) Underlying Zoning Districts Minimum yard requirements,
- (c) Underlying Zoning Districts Maximum floor area ratio standards; and
- (d) Height shall not exceed 28 feet in height to the midpoint of a sloped roof or top of the parapet of a flat or low sloped roof, and measured from the base flood elevation determined under the most restrictive applicable standard the the building side, further provided that the overall roof height shall not exceed 32 feet.

Any other applicable standards within this Division, not expressly stated in this Section, shall apply to new development and redevelopment as outlined in this Division.

Sec 20.14 Vacant parcels

The following procedures shall be followed

- (a) For parcels of land within a residential zoning district and :

Any parcel of land that is vacant, at the time of adoption, shall only be permitted either:

- 1) A residential building type found in Sec 20.15 that is consistent with the underlying uses permitted in the Zoning District and Sec 20.07. The parcel of land shall meet the lot width and lot depth as identified, by building type found in Sec 20.15, to determine the appropriate standards to apply to that parcel, or
- 2) Provisions listed in Sec 20.13 of this Division

- (b) Parcels of land within non-residential land use districts:

Any parcel of land that is vacant, at the time of adoption of the PAG Overlay District, shall be permitted any of the non-residential building types found in Sec 20.15 that are consistent with the existing lot width/depth of the parcel of land.

- (c) Assembly or parcel splits shall only be permitted through the City Commission, to determine the compatibility and respect for the existing character of the PAG Overlay District.

Sec 20.15 Permitted building types

Building types are permitted by the following criteria:

- (a) Existing Parcel Size, and
- (b) Existing Density, Units and Rooms

An applicant must provide a survey of the parcel to verify the actual parcel size (lot width/lot depth) or use the City's parcel data information. If the applicant believes the lot width and depth are different than the City's records, the applicant will be required to have a survey of the lot for verification.



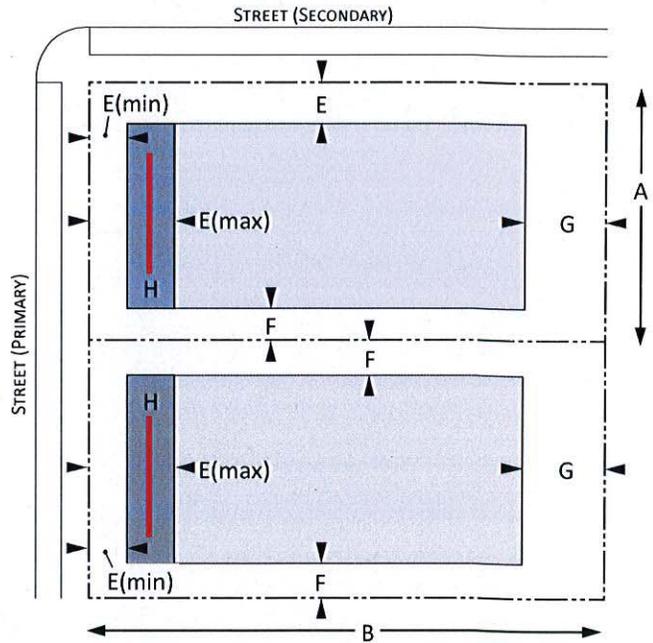
HOUSE - LARGE

A building lot located and designed to accommodate a detached building with large side, rear and front yards.

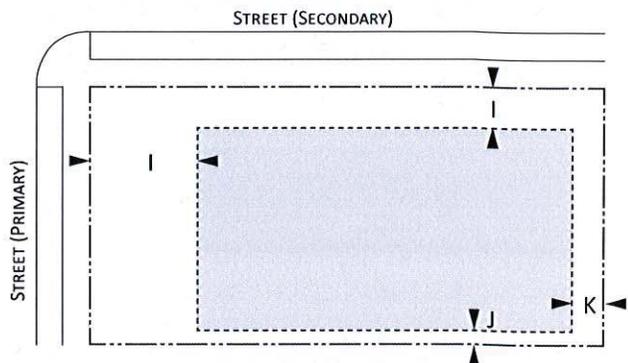
LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	60	--
B - Lot Depth (ft)	100	--
C - Lot Size (sf)	6,000	--
D - Lot Coverage (%)	--	60
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	10	15
Secondary Street Setback	7	--
F - Side Setback (ft)	7	--
G - Rear Setback (ft)	15	--
Garage Adjacent to Alley	5	--
H - Frontage Buildout (%)	50	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	10	--
J - Side Setback (ft)	25	--
K - Rear Setback (ft)	--	80
L - Building Footprint (sf)	--	800
BUILDING HEIGHT		
M - Principle Building (ft)	--	28-32' as defined in Sec. 20.17
N - Accessory Structure(s) (ft)	--	28'
PARKING PROVISIONS		
Location	Zone 2,3, and 4	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF listed	P, S, CY	

(1) a lot that is adjacent to the bay or beach is permitted to exceed the maximum setback requirements.

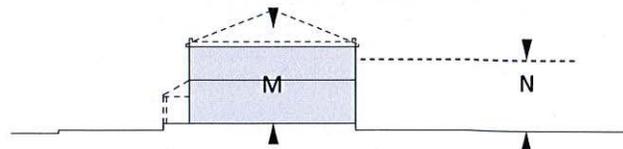
LOT REQUIREMENTS AND BUILDING ENVELOPE



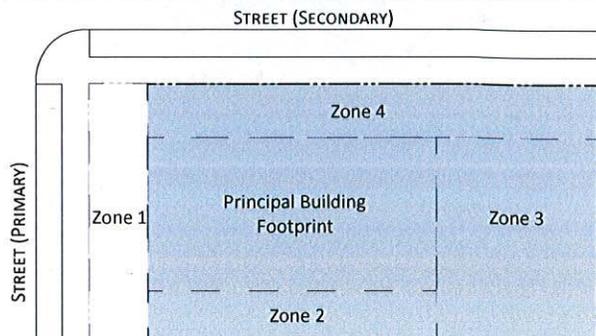
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION





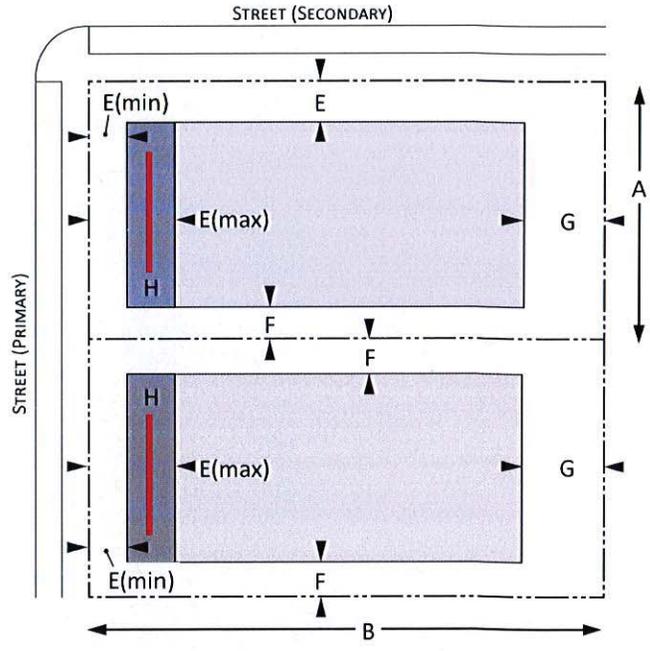
HOUSE - MEDIUM

A building lot located and designed to accommodate a detached building with small side yards and a large front yard.

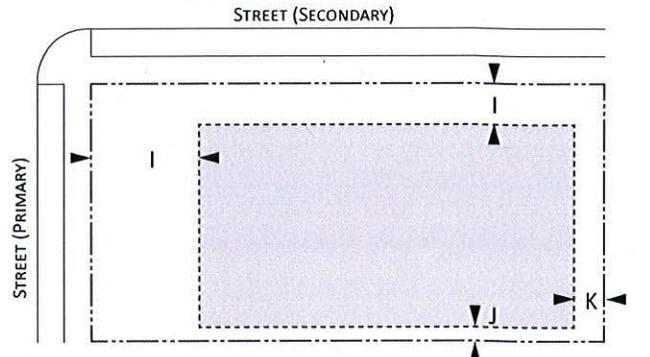
LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	40	55
B - Lot Depth (ft)	100	--
C - Lot Size (sf)	4,000	--
D - Lot Coverage (%)	--	70
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	10	15
Secondary Street Setback	5	--
F - Side Setback (ft)	5	--
G - Rear Setback (ft)	15	--
Garage Adjacent to Alley	5	--
H - Frontage Buildout (%)	50	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (ft)	--	'28-32' as defined in Sec. 20.17
N - Accessory Structure(s) (ft)	--	28'
PARKING PROVISIONS		
Location	Zone 2,3, and 4	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF listed	P, S, CY	

(1) a lot that is adjacent to the bay or beach is permitted to exceed the maximum setback requirements.

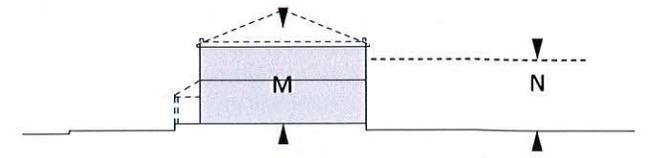
LOT REQUIREMENTS AND BUILDING ENVELOPE



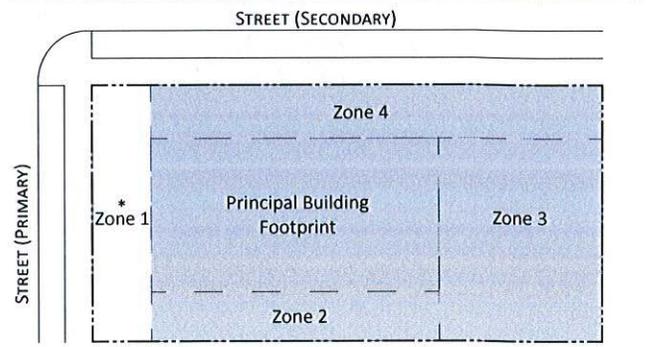
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION



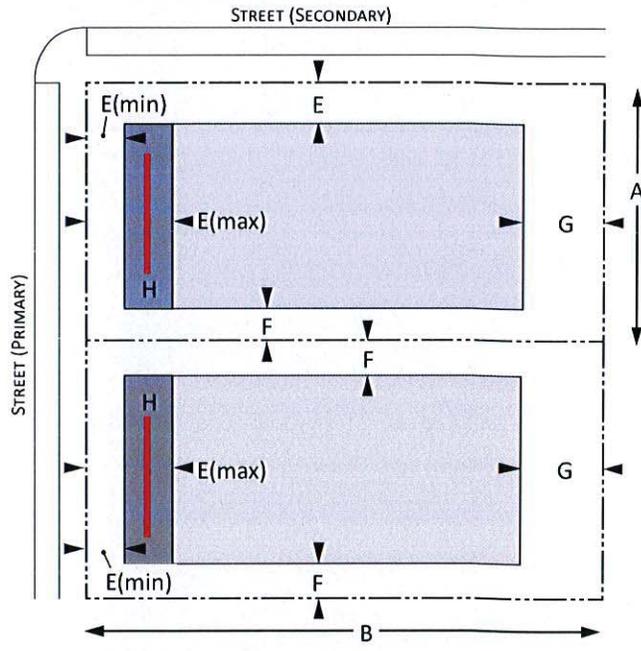


HOUSE - SMALL

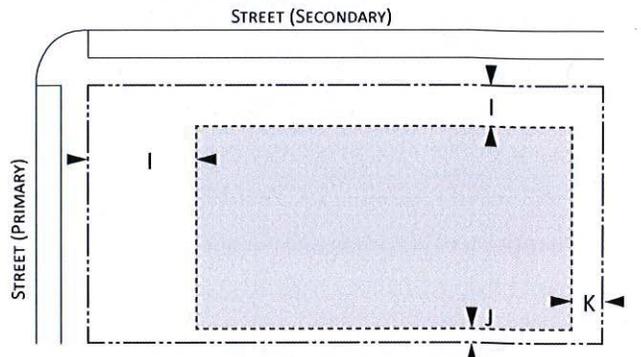
A building lot located and designed to accommodate a small detached building with small side and front yards. A maximum of one dwelling unit is permitted.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	32	40
B - Lot Depth (ft)	50	120
C - Lot Size (sf)	1,600	4,800
D - Lot Coverage (%)	--	90
BUILDING ENVELOPE		
E - Street Setback (ft)	5	10
Secondary Street Setback (ft)	5	--
F - Side Setback (ft)	3	--
G - Rear Setback (ft)	10	--
Garage Adjacent to Alley	5	--
H - Frontage Buildout (%)	50	--
ACCESSORY STRUCTURE ENVELOPE		
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	400
BUILDING HEIGHT		
M - Principal Building (ft)	--	'28-32' as defined in Sec. 20.17
N - Accessory Structure(s) (ft)	--	28'
PARKING PROVISIONS		
Location	Zone 2,3,4	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF listed	P, S, CY	

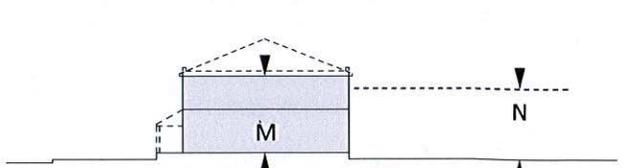
LOT REQUIREMENTS AND BUILDING ENVELOPE



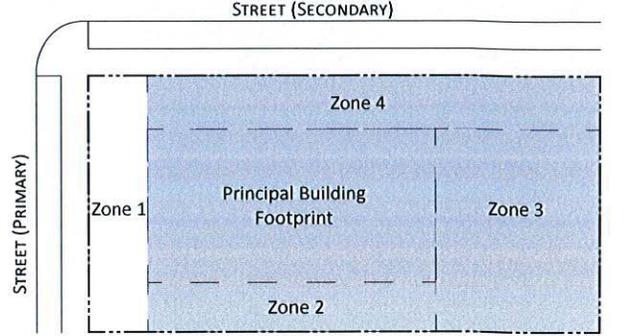
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION



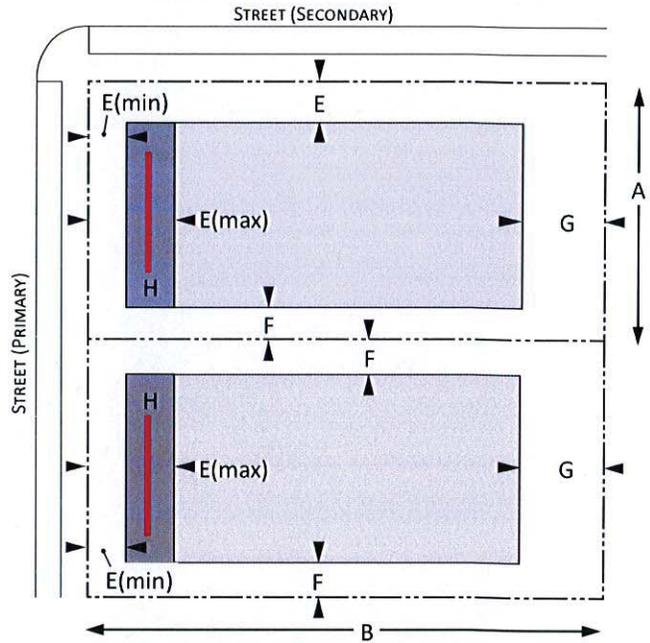
AH

APARTMENT HOUSE

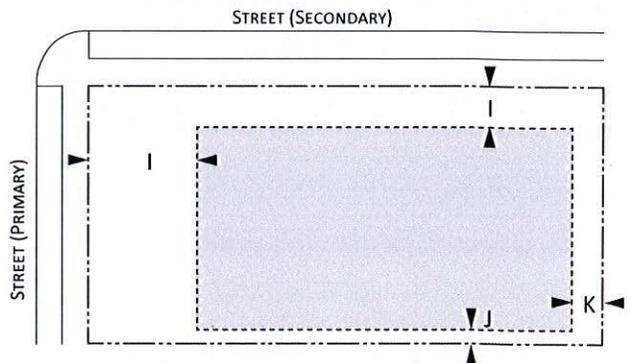
A building lot located and designed to accommodate a detached building which resembles a large house but which contains multiple dwellings above and beside each other. A maximum of 4 units are permitted in this building lot. (The units have to be existing prior to redevelopment as stated in Sec.20.07 Density, intensity and assembly of parcels).

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	40	55
B - Lot Depth (ft)	80	--
C - Lot Size (sf)	3,200	--
D - Lot Coverage (%)	--	70
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	10	15
Secondary Street Setback (ft)	5	--
F - Side Setback (ft)	5	--
G - Rear Setback (ft)	15	--
Garage Adjacent to Alley	5	--
H - Frontage Buildout (%)	60	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	--	'28-32' as defined in Sec. 20.17
N - Accessory Structure(s) (ft)	--	2
PARKING PROVISIONS	Location Zone 2, 3 and 4	
PRIVATE FRONTAGES (PF)	Select a minimum of 1 PF listed P, S, CY	

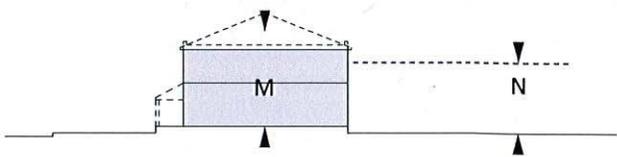
LOT REQUIREMENTS AND BUILDING ENVELOPE



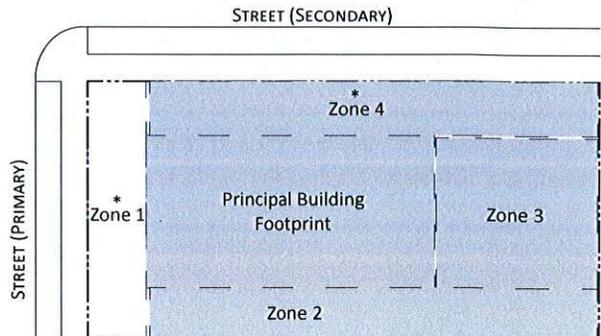
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION



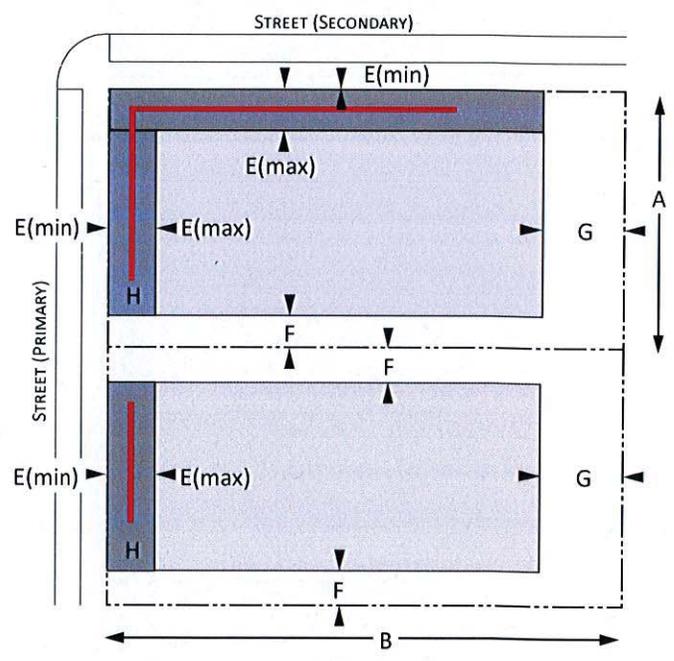


APARTMENT BUILDING- MEDIUM

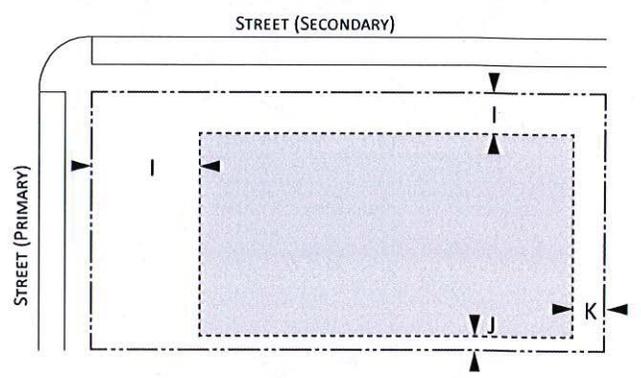
A building lot located and designed to accommodate multiple dwellings above or beside each other in a building that occupies most of its building lot width and is placed close to the sidewalk. (The units have to be existing prior to redevelopment as stated in Sec.20.07 Density, intensity and assembly of parcels).

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	90	200
B - Lot Depth (ft)	120	120
C - Lot Size (sf)	10,800	24,000
D - Lot Coverage (%)	--	75
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	15	25
Secondary Street Setback (ft)	10	--
F - Side Setback (ft)	10	--
G - Rear Setback (ft)	15	--
Garage Adjacent to Alley	5	--
H - Frontage Buildout (%)	60	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (ft)	--	'28-32' as defined in Sec. 20.17
N - Accessory Structure(s) (ft)	--	28'
PARKING PROVISIONS	Location Zone 2 and 3	
PRIVATE FRONTAGES (PF)	Select a minimum of 1 PF listed CY, P, F, S	

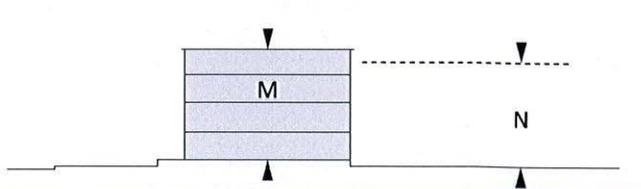
LOT REQUIREMENTS AND BUILDING ENVELOPE



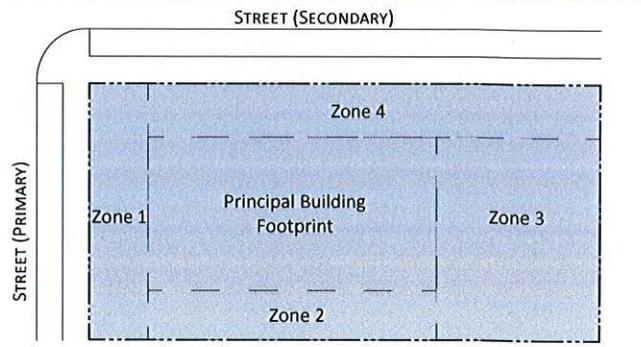
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION

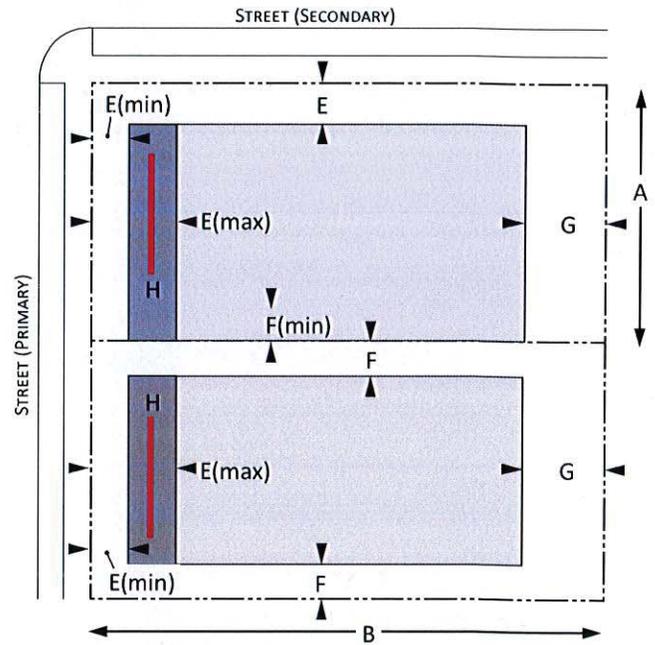


CA COURTYARD APARTMENT

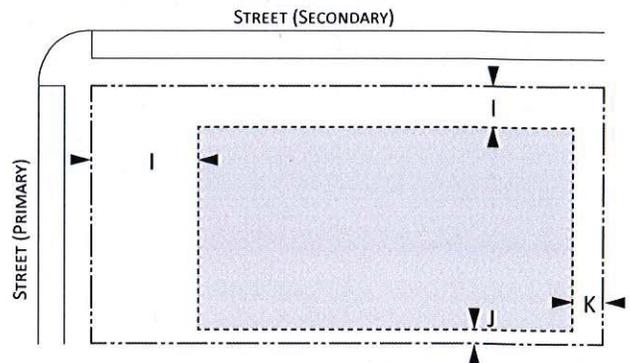
A building lot located and designed to accommodate multiple dwellings arranged around and fronting on a central garden or courtyard that may be partially or wholly open to a street and/or alleyway. (The units have to be existing prior to redevelopment as stated in Sec.20.07 Density, intensity and assembly of parcels).

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	50	200
B - Lot Depth (ft)	80	120
C - Lot Size (sf)	4,000	24,000
D - Lot Coverage (%)	--	80
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	10	15
Secondary Street Setback (ft)	5	--
F - Side Setback (ft)	5	--
G - Rear Setback (ft)	20	--
Garage Adjacent to Alley	5	--
H - Frontage Buildout (%)	60	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (ft)	--	'28-32' as defined in Sec. 20.17
N - Accessory Structure(s) (ft)	--	28'
PARKING PROVISIONS	Location Zone 2 and 3	
PRIVATE FRONTAGES (PF)	Select a minimum of 1 PF listed F	

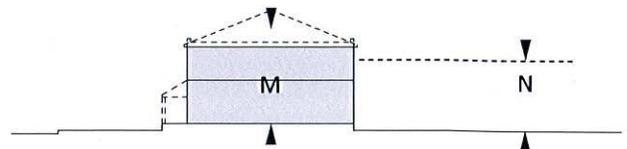
LOT REQUIREMENTS AND BUILDING ENVELOPE



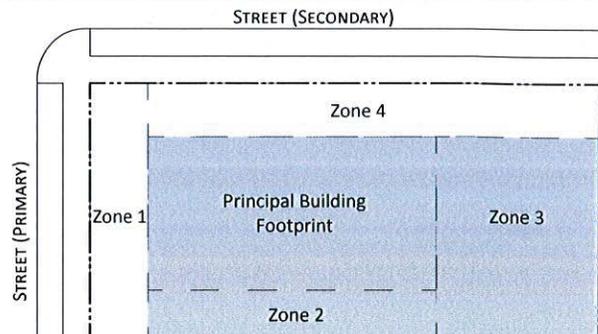
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION

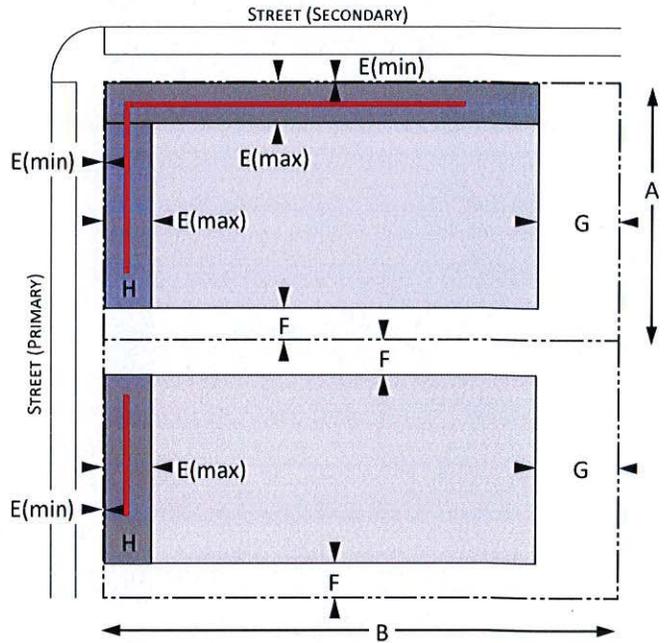


COMMERCIAL/ MIXED-USE - SMALL

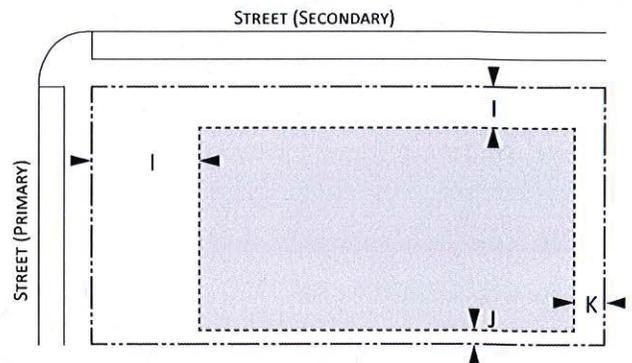
A building lot located and designed to accommodate a multi story building with commercial, office and/or multiple dwellings in any story that is designed for smaller lot sizes.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	20	60
B - Lot Depth (ft)	80	120
C - Lot Size (sf)	1,600	7,200
D - Lot Coverage (%)	--	80
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	10	15
Secondary Street Setback (ft)	5	--
F - Side Setback (ft)	0	--
G - Rear Setback (ft)	15	--
Alley	5	--
H - Frontage Buildout (%)	60	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	600
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	--	underlying zoning district
N - Accessory Structure(s) (ft)	--	25
PARKING PROVISIONS	Zone 2 and 3	
PRIVATE FRONTAGES (PF)	Select a minimum of 1 PF listed	
	C	

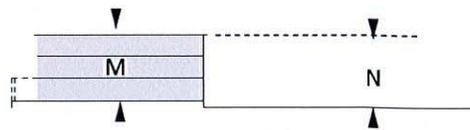
LOT REQUIREMENTS AND BUILDING ENVELOPE



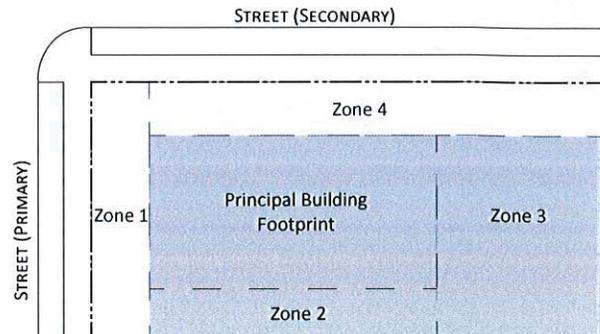
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION



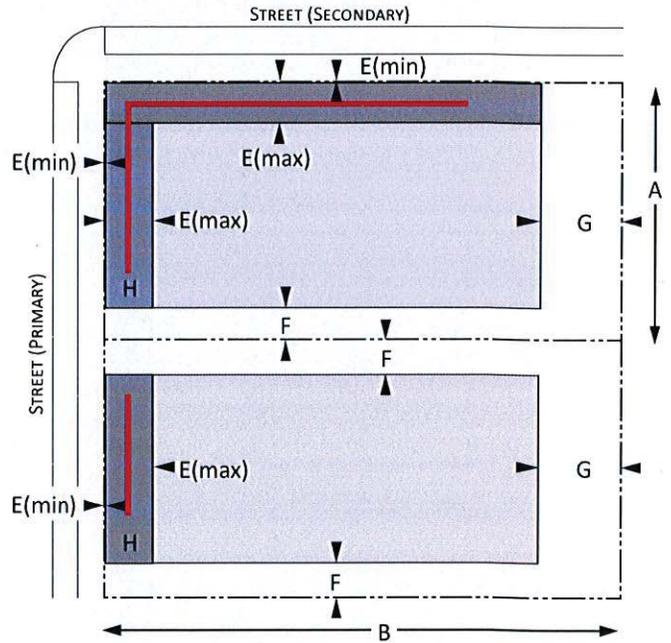


COMMERCIAL/ MIXED-USE - MEDIUM

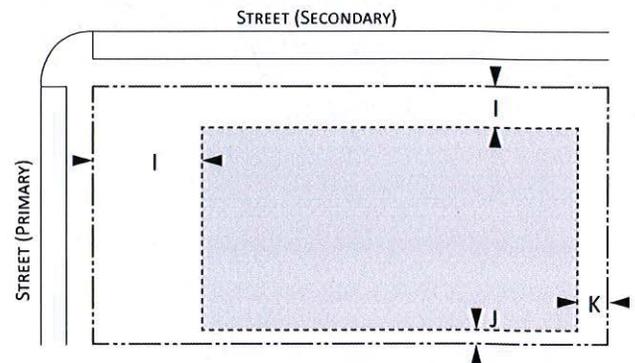
A building lot located and designed to accommodate a multi story building with commercial, office and/or multiple dwellings in any story that is designed for average lot sizes.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	60	150
B - Lot Depth (ft)	--	350
C - Lot Size (sf)	--	52,500
D - Lot Coverage (%)	--	90
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	10	15
Secondary Street Setback (ft)	5	--
F - Side Setback (ft)	0	--
G - Rear Setback (ft)	20	--
Alley	5	--
H - Frontage Buildout (%)	60	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	--	underlying zoning district
N - Accessory Structure(s) (ft)	--	25
PARKING PROVISIONS	Location Zone 2 and 3	
PRIVATE FRONTAGES (PF)	Select a minimum of 1 PF listed C	

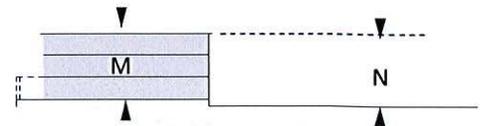
LOT REQUIREMENTS AND BUILDING ENVELOPE



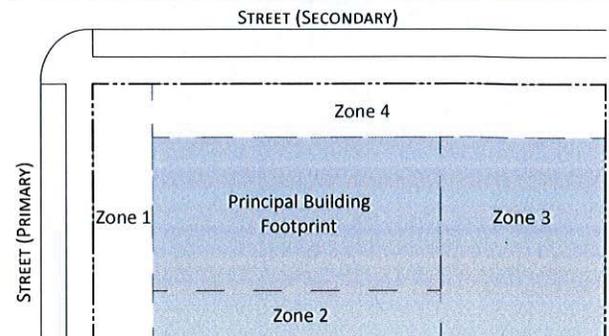
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION

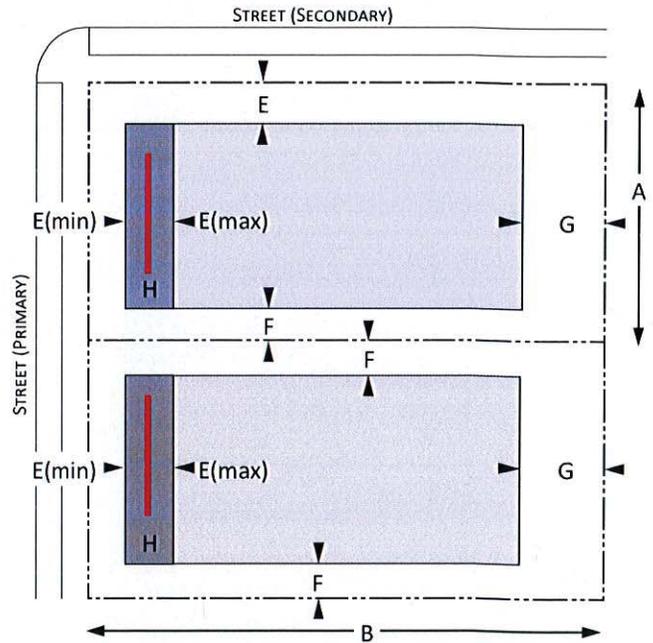


A building lot located and designed to accommodate lodging. The number of rooms will be confirmed by existing operating hotel rooms. (The units have to be existing prior to redevelopment as stated in Sec.20.07 Density, intensity and assembly of parcels).

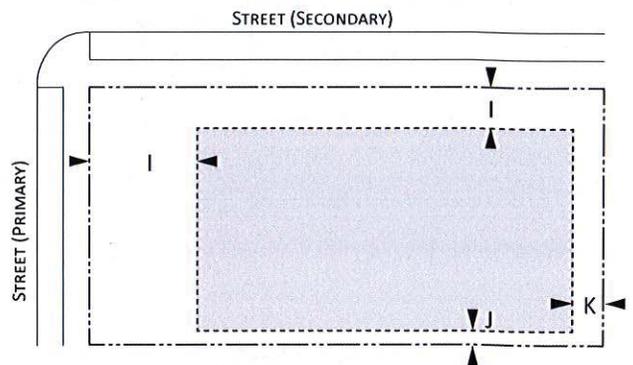
LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	40	105
B - Lot Depth (ft)	90	125
C - Lot Size (sf)	--	13,125
D - Lot Coverage (%)	--	80
BUILDING ENVELOPE		
E - Street Setback (ft)	15	20
Secondary Street Setback (ft)	10	--
F - Side Setback (ft)	10	--
G - Rear Setback (ft)	15	--
Garage Adjacent to Alley	5	--
H - Frontage Buildout (%)	60	--
ACCESSORY STRUCTURE ENVELOPE		
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT		
M - Principal Building (ft)(1)	--	'28-32' as defined in Sec. 20.17
N - Accessory Structure(s) (ft)	--	28'
PARKING PROVISIONS		
Location	Zone 2,3, and 4	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF listed	C, P, F, CY,S	

(1) may exceed the height up to 35' as outlined by the code if the property is along Gulf Way and that portion of the building that exceeds the 32' in height shall be set back an additional one foot from the front setback line for every foot in height increase.

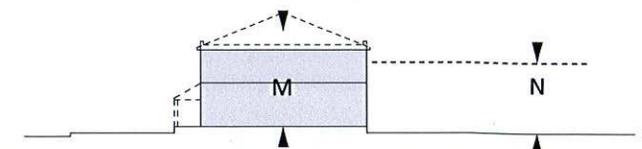
LOT REQUIREMENTS AND BUILDING ENVELOPE



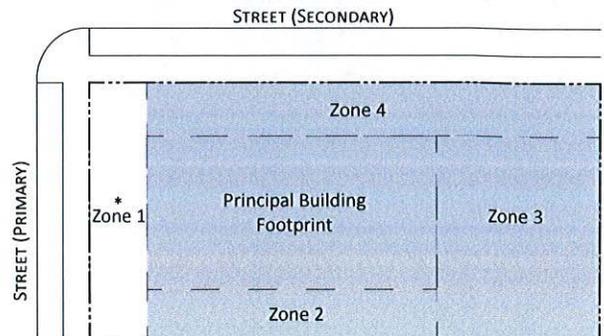
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION



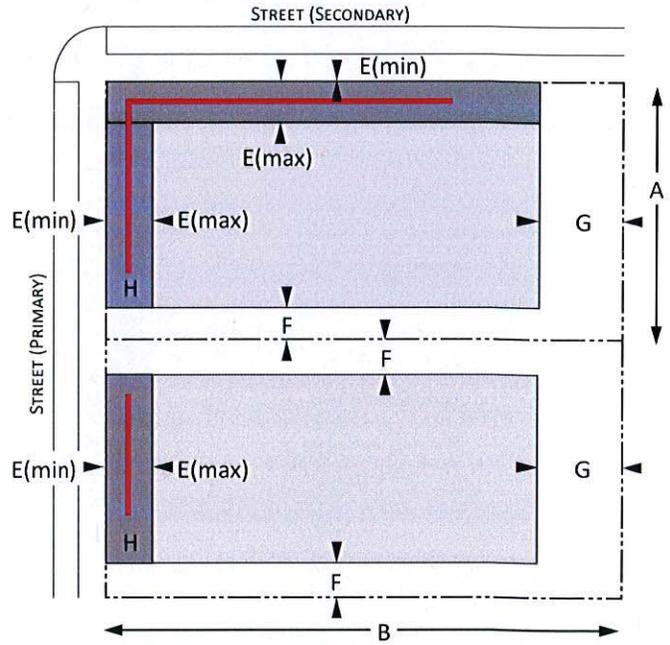
SS

SINGLE STORY COMMERCIAL BUILDING-SMALL

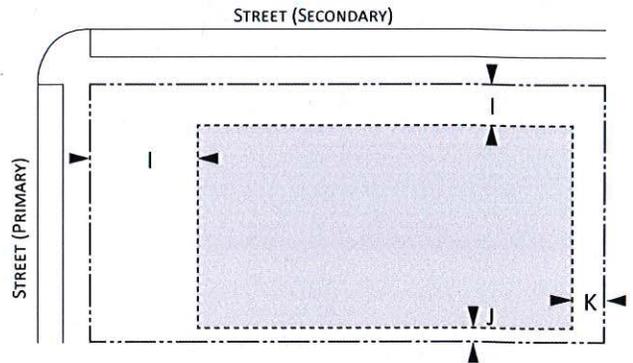
A building lot located and designed to accommodate single use office and retail.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	30	50
B - Lot Depth (ft)	80	120
C - Lot Size (sf)	4,000	6,000
D - Lot Coverage (%)	--	80
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	10	15
Secondary Street Setback (ft)	5	--
F - Side Setback (ft)	0	--
G - Rear Setback (ft)	20	--
Alley	5	--
H - Frontage Buildout (%)	60	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (ft)	--	underlying zoning district
N - Accessory Structure(s) (ft)	--	25
PARKING PROVISIONS		
Location	Zone 2,3, and 4	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF listed	C, G, A	

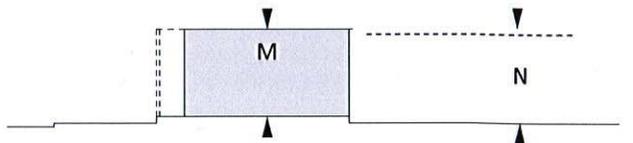
LOT REQUIREMENTS AND BUILDING ENVELOPE



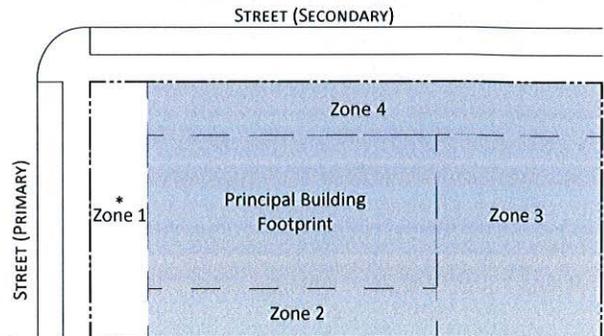
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION



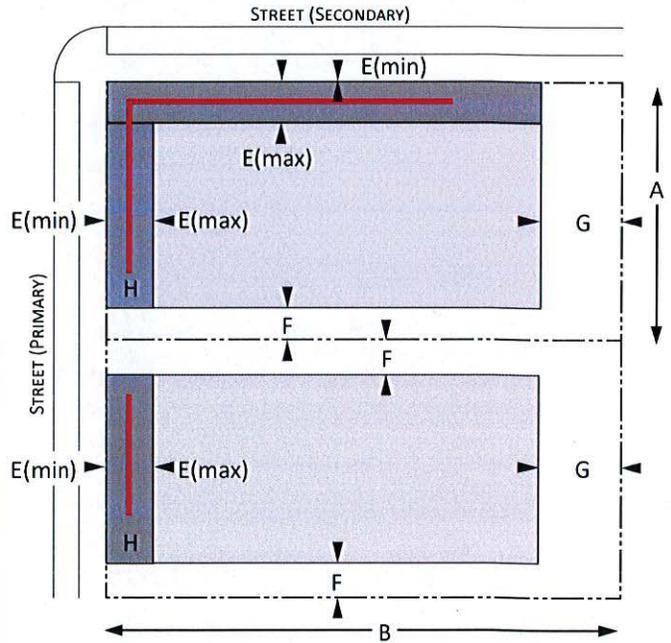
SM

SINGLE STORY COMMERCIAL BUILDING-MEDIUM

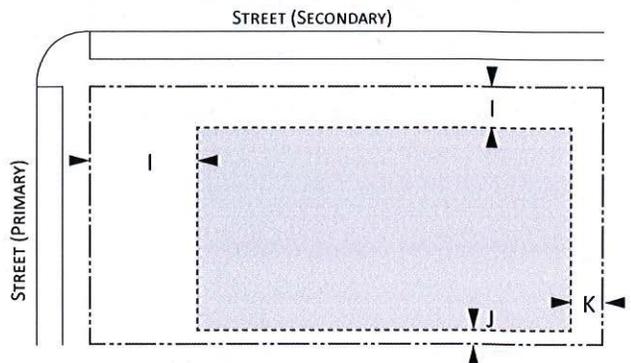
A building lot located and designed to accommodate single use office and retail.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	60	150
B - Lot Depth (ft)	--	350
C - Lot Size (sf)	--	52,500
D - Lot Coverage (%)	--	90
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	10	15
Secondary Street Setback (ft)	5	--
F - Side Setback (ft)	0	--
G - Rear Setback (ft)	20	--
Alley	5	--
H - Frontage Buildout (%)	60	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	--	underlying zoning district
N - Accessory Structure(s) (ft)	--	25
PARKING PROVISIONS		
Location	Zone 2 and 3	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF listed	C	

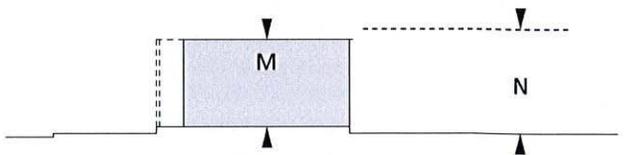
LOT REQUIREMENTS AND BUILDING ENVELOPE



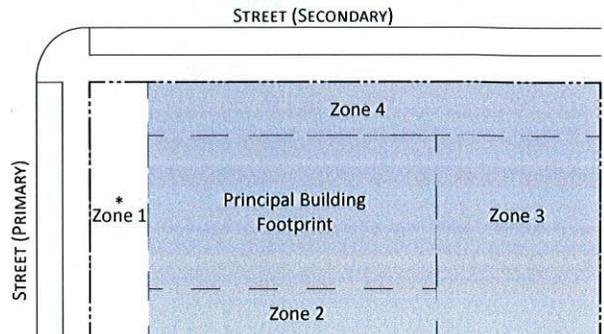
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION



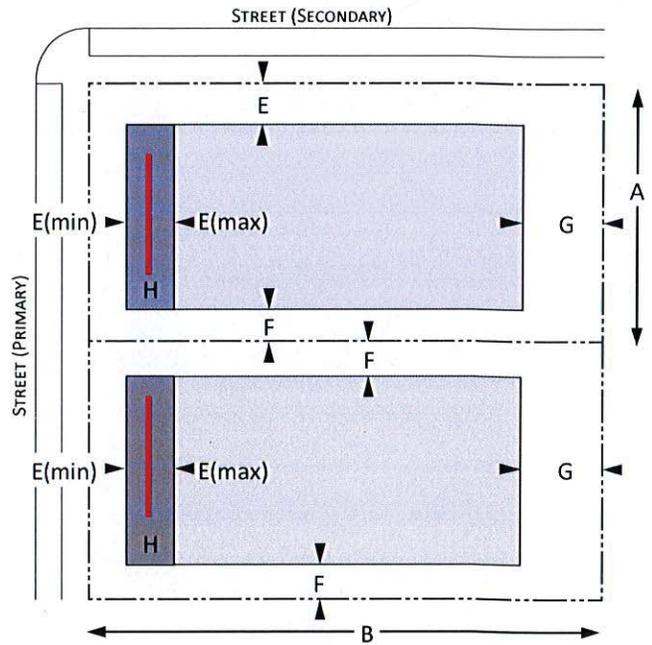


INSTITUTION BUILDING

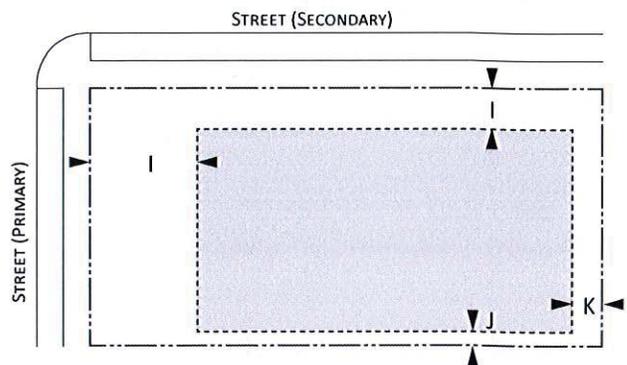
A building lot located and designed to accommodate a building containing public or civic uses such as community services, day care, education, government, places of worship, or social services. This typology is only for permitted and exiting institutional buildings.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	--	--
B - Lot Depth (ft)	--	--
C - Lot Size (sf)	--	--
D - Lot Coverage (%)	--	--
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	10	25
Secondary Street Setback (ft)	10	--
F - Side Setback (ft)	10	--
G - Rear Setback (ft)	15	--
Alley	5	--
H - Frontage Buildout (%)	50	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (ft)	--	35
N - Accessory Structure(s) (ft)	--	28'
PARKING PROVISIONS		
Location	Zone 2,3, and 4	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF listed	no requirement	

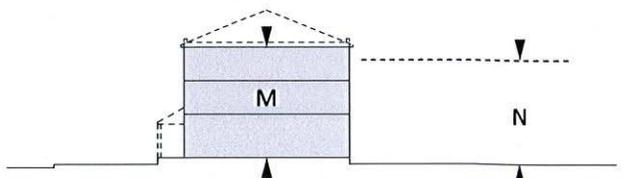
LOT REQUIREMENTS AND BUILDING ENVELOPE



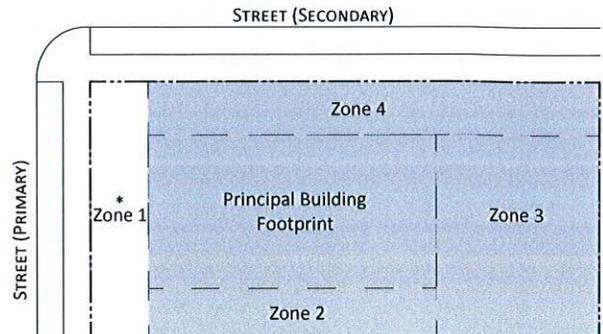
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION



P

PORCH

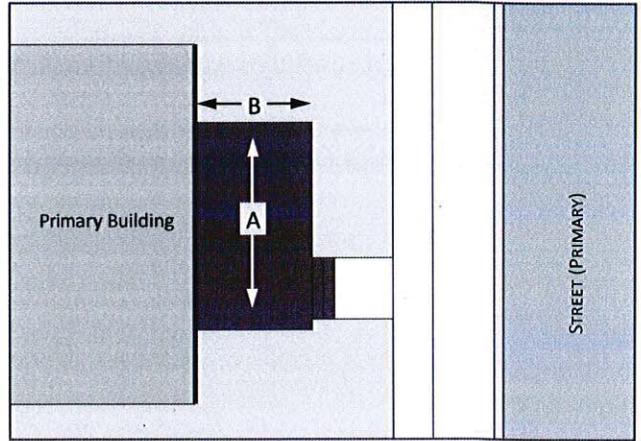
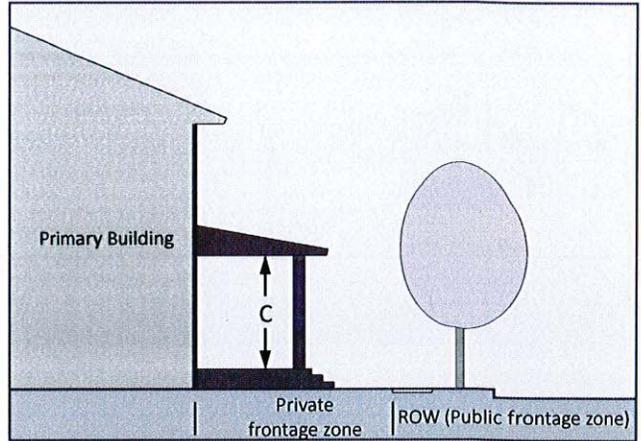
The façade is setback from the front lot line per applicable street setback requirements. The façade includes an attached front porch structure. A wide variety of porch designs are possible.

FRONTAGE ZONE (FZ)	MIN	MAX
Porch structure requirements:		
A - Width (clear) (ft)	10	--
B - Depth (clear) (ft)	5	--
C - Height (clear) (ft)	7	--

INTERFACE ZONE (IZ)

Landscape with path (3' wide min) from sidewalk to structure

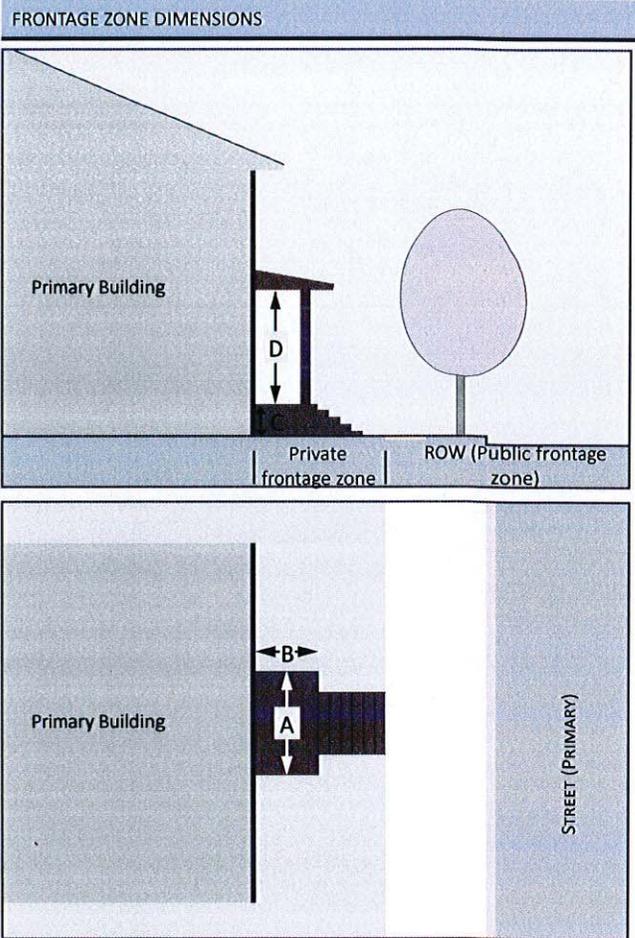
FRONTAGE ZONE AND INTERFACE ZONE DIMENSIONS



S STOOP

The façade is set back from the front lot line per applicable street setback requirements. The façade includes an attached entry stoop (an elevated landing with stairs) that is placed at or near the front lot line. The ground floor is elevated to provide privacy. The stoop may include a roof, however it is not required.

FRONTAGE ZONE (FZ)	MIN	MAX
Stoop structure requirements:		
A - Width (clear) (ft)	5	10
B - Depth (clear) (ft)	3	8
C - Height (stoop) (in)	18	24
D - Height (clear) (ft)	7	--
INTERFACE ZONE (IZ)	Landscape with path (3' wide min) from sidewalk to structure	

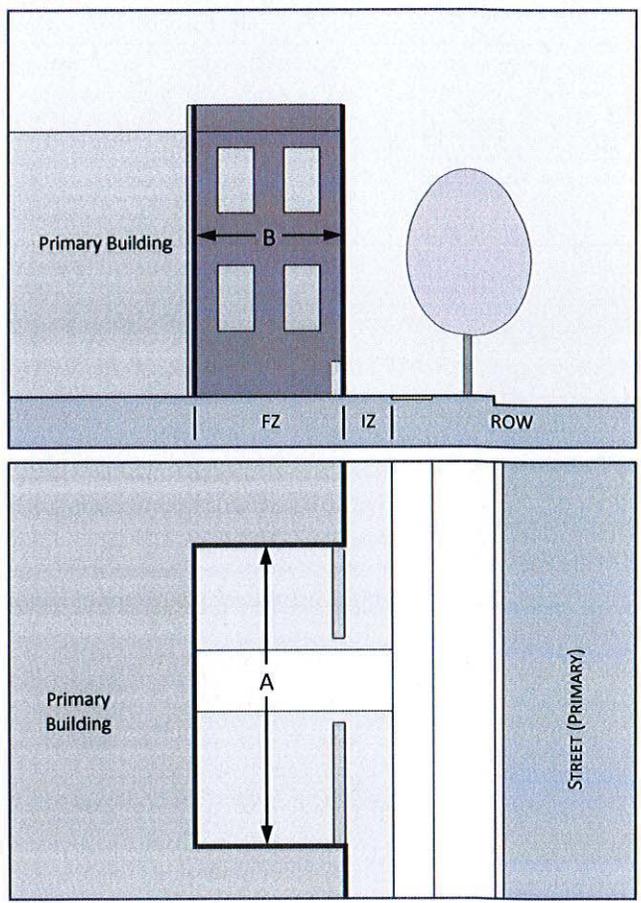


F FORECOURT

The façade is set back from the front lot line per applicable street setback requirements. A portion of the façade is recessed to form an uncovered court. The court is suitable for outdoor dining, gardens, vehicle drop-offs, formal entries etc. A fence or wall may be used to define the private space of the court. The court may be elevated behind a retaining wall at or near the front lot line with entry steps to the court. The forecourt area may not have a permanent roof structure. Cafe's, seating area's may provide shade, umbrella's or any temporary shelter(s) that provide shade.

FRONTAGE ZONE (FZ)	MIN	MAX
Courtyard requirements:		
A - Width (clear) (ft)	12	--
B - Depth (clear) (ft)	12	50
INTERFACE ZONE (IZ)	Landscape with path (6' wide min) from sidewalk to structure	
OTHER REQUIREMENTS	None	

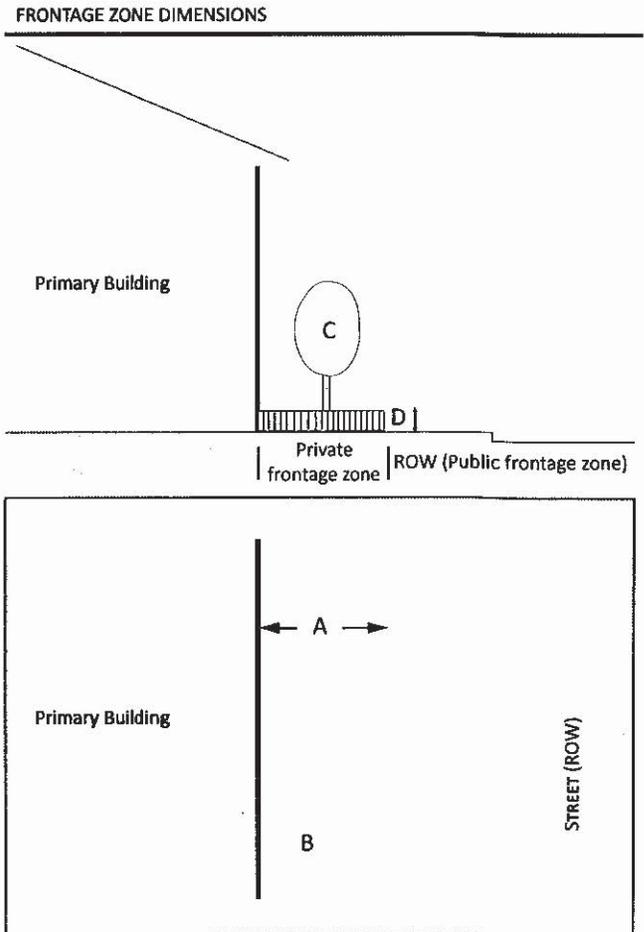
FRONTAGE ZONE AND INTERFACE ZONE DIMENSIONS



COMMON YARD

The façade is set back from the front lot line per applicable street setback requirements. The common yard may include a two to four foot in height decorative fence that shall be constructed of wood, shell, or concrete material. The frontyard is required to have a minimum of 1 canopy tree, shrubs, and ground cover.

FRONTAGE ZONE (FZ)	MIN	MAX
Stoop structure requirements:		
A - Landscape	grass and or ground cover	
B - Shrubs, ground cover	10 (3 gallon)	--
C - Tree (canopy tree)	1	--
D- Fence Height (feet)	2'	4'





COMMERCIAL

The façade is setback from the front lot line per applicable street setback requirements, typically at or near the front lot line with the entrance at sidewalk grade. The façade may include an awning, shed roof, or gallery (a lightweight colonnade with no habitable building space above it) that covers the sidewalk and may extend into the right-of-way. The facade has a substantial amount of glazing at the sidewalk level. Recessed entrances are acceptable.

FRONTAGE ZONE (FZ)	MIN	MAX
--------------------	-----	-----

Building facade requirements:		
A - Distance between openings (ft)	10	20
B - Door recess (ft)	--	5
C - Ground floor transparency (%)	60	--
D - Height to bottom of window (ft)	--	2.5

INTERFACE ZONE (IZ)

Extended sidewalk from right-of-way edge to structure

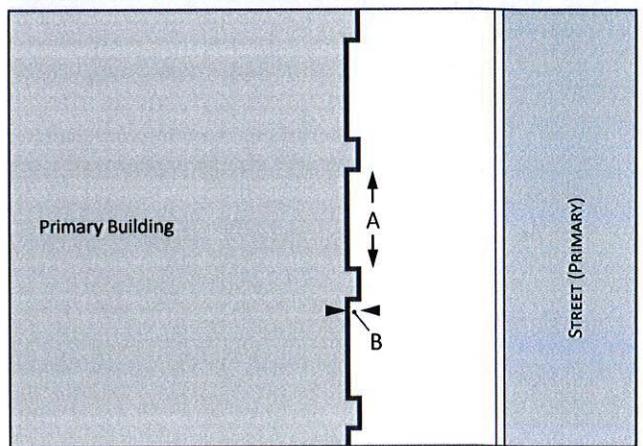
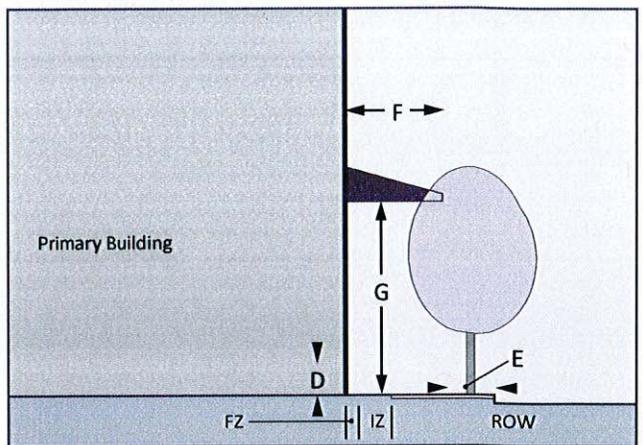
OPTIONAL ELEMENTS	MIN	MAX
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AWNING or GALLERY		
E - Setback from curb (ft)	2	--
F - Depth (clear) (ft) *(Gallery min 8')	4	10
G - Height (clear) (ft)	8	--

OTHER REQUIREMENTS

None

FRONTAGE ZONE AND INTERFACE ZONE DIMENSIONS



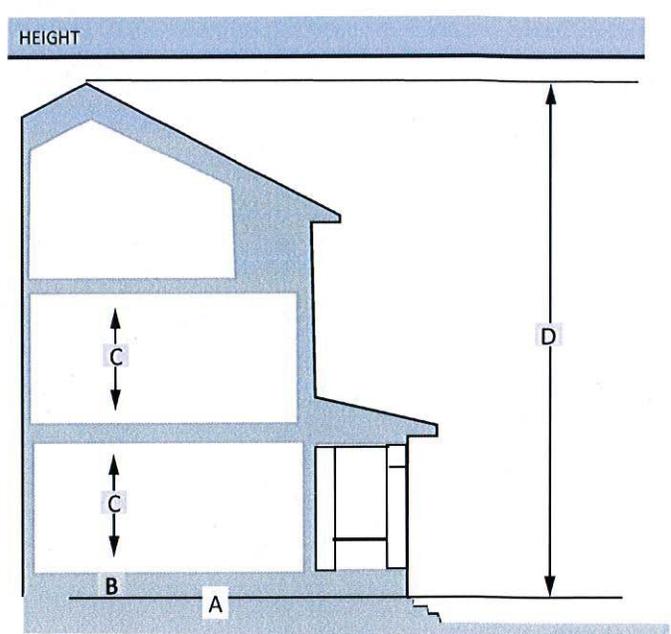
H

BUILDING HEIGHT

Pass-A-Grille is located in a flood zone and has special requirements that shall be met in Sec. 98-33 of the City's Code of Ordinances for base flood elevations (BFE). The graphic below provides overall guidance on the design of floors, the measuring of the finished floor.

	MIN	MAX
Building facade requirements:		
A - Base Flood Elevation (BFE) refer to Sec. 98-33		
B - Finished Grade (FG)	Determined by the BFE & FG	
C - Height of Floors (liveable)	8	14
D - Total Height (Measurement from the BFE)	--	--
Residential*	--	28-32*
Commercial (non-residential)	--	Refer to Underlying Zoning District

*Not to exceed 28 feet in height to the midpoint of a sloped roof or top of the parapet of a flat or low sloped roof, and measured from the base flood elevation determined under the most restrictive applicable standard for the building site, further provided that the overall roof height shall not exceed 32 feet.



Sec 20.16 Private frontage

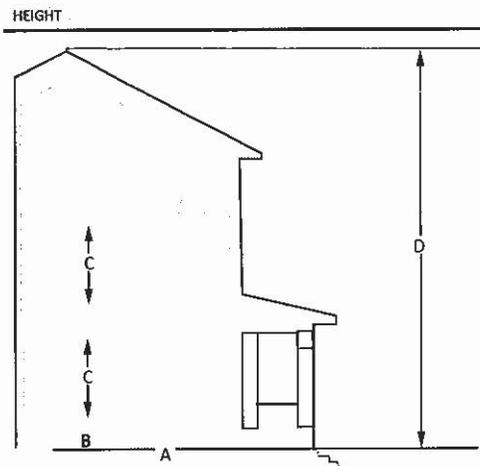
The building types in Sec. 20.15 provide the acceptable private frontages (i.e. porches, stoops, etc.) for that building type. If there are multiple frontages provided in the table, the applicant may choose what private frontage to provide per building. A minimum of one frontage will be required for new construction when listed on the chart, by Building Type. The private frontage area may count towards the calculation of the frontage build out requirement under the "Building Envelope" category, by building type, in Section 20.15.

Sec 20.17 Building height

Each building lot typology in Sec. 20.15 provides the range of height appropriate for the building type. No new or substantially improved building within the PAG Overlay District and having the underlying zoning designation of THD, RU-2 Residential, RLM-2 Residential, or RM Residential shall be constructed not to exceed 28 feet in height to the midpoint of a sloped roof or top of the parapet of a flat or low sloped roof, and measured from the base flood elevation determined under the most restrictive applicable standard for the building site, further provided that the overall roof height shall not exceed 32 feet. Base flood elevation requirements are outlined in Sec. 98-33 of the City's Code of Ordinances.

	MIN	MAX
Building facade requirements:		
A - Base Flood Elevation (BFE) refer to Sec. 98-33		
B - Finished Grade (FG)	Determined by the BFE & FG	
C - Height of Floors (liveable)	8	14
D - Total Height (Measurement from the BFE)	--	--
Residential*	--	28-32*
Commercial (non-residential)	--	Refer to Underlying Zoning District

*Not to exceed 28 feet in height to the midpoint of a sloped roof or top of the parapet of a flat or low sloped roof, and measured from the base flood elevation determined under the most restrictive applicable standard for the building site, further provided that the overall roof height shall not exceed 32 feet.



Sec 20.18 Minimum off-street parking requirements.

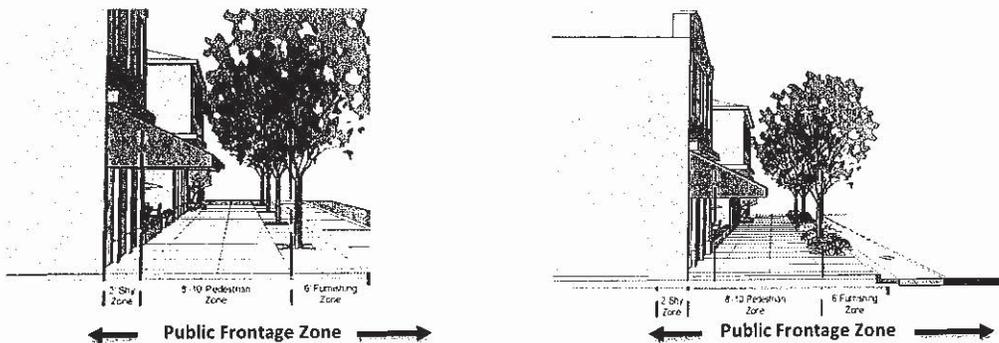
- Residential: Shall be in accordance with the requirements of Division 23 of the Land Development Code, Off Street Parking and Loading.
- Nonresidential: may reduce the number of spaces, if on-street parking is available, then an applicant can count any on-street parking within 500 feet of the parcel.

Sec 20.19 Alleyways

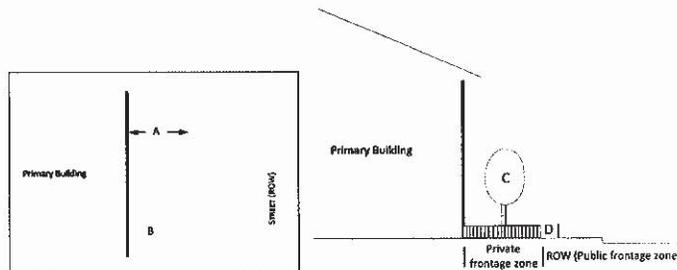
- The PAG Overlay District has existing alleyways that shall be maintained as an alleyway.
- Under no circumstance shall an existing alley be reduced in the width and length.
- Parking is permitted adjacent to an Alleyway or where the City has identified, through signage, that vehicles may park within the alleyway. Under no circumstance shall a parked vehicle impede the vehicular movement.
- Alleyways shall not be permanently closed or vacated.

Sec 20.20 Landscaping Standards

- (a) Streetscape Standards. When the City requires improvements to the "Public Frontage" Zone which includes: Furnishing zones, pedestrian zones and a shy zone, the following standards shall apply.
- 1) Furnishing Zone that is a minimum of six feet in depth and may include street lights, benches and canopy trees. A furnishing zone shall include one of the following: Tree Grate Standards. One canopy tree per 30 feet in lineal building shall be provided the entire length of the parcel the building is fronting.
 - 2) Planter Beds. A minimum width of 6 feet with a maximum length of 25 feet that contains 1 canopy tree per bed and 100 percent ground cover.
 - 3) Pedestrian Zone, 8-10 feet of unobstructed sidewalk
 - 4) Shy zone, comprised of 12 inches to 2 feet that includes the area from the edge of the building to the edge of the pedestrian zone.



- (b) Landscape Buffers may be required between any uses within the PAG Overlay District.
- (c) Front Buffers for all Residential building types, excluding the Apartment Building, shall provide the following:
- 1) Front fence or landscape buffer shall be provided and include the following:
 - i. An opaque hedge, height not to exceed 3 feet when fully matured and/or
 - ii. Knee wall and/or fence. Permitted materials are wood, shell or concrete material consistent with the overall architecture and design of the primary residence.



FRONTAGE ZONE (FZ)	MIN	MAX
Stoop structure requirements:		
A - Landscape	grass and or ground cover	
B - Shrubs, ground cover	10 (3 gallon)	---
C - Tree (canopy tree)	1	---
D- Fence Height (feet)	2'	4'

Sec 20.21 Screening of elevated buildings.

A building required by Section 98-33 of the City's Code of Ordinances, to be elevated more than three feet above grade shall mask the fact that it is elevated through the use of appropriate architectural screening so that the building, when viewed from public rights-of-way, appears to have been constructed at, or near, natural grade as follows:

(a) Architectural screening shall:

- 1) Create a visual continuity that is integrated with the overall design and architecture of the home using doors, garage doors, entryways, staircase and/or archways.
- 2) No more than 20% of the area being screened can be transparent.

(b) Landscape screening shall be installed:

- 1) A minimum 3-foot-wide landscape area
- 2) One understory tree per 20 lineal feet (or portion thereof) of the elevated building length/width viewed from public rights-of way.
- 3) Planted with shrubs, ornamental grasses and groundcovers to provide 100% coverage of the landscape area within one growing season. The landscape design shall (unless spatially impractical) provide layering of plant materials that includes larger background shrubs and low foreground groundcovers. All plant material should be Florida Friendly plantings as defined and identified by University of Florida/IFS horticulture experts.
- 4) Permanent mulch materials, such as organic mulches, stones, and recycled inorganic groundcover materials are not permitted in lieu of vegetation, unless they are provided as accent or focal points that enhance the landscape design.

(c) Apartment Building Types (Apartment House, Apartment Building Small and Apartment Building Medium shall also meet the following standards:

- a. Parking may only be accessed from the side or rear of the building
- b. No portion of the primary building shall have garage doors facing any street.
- c. Parking may be located within the BFE provided the primary face of the building is architecturally designed to be consistent with front entryways of homes that are integrated and not visually seen from any street.

Sec 20.22 General building design (residential)

In addition to the required private frontages and the standards provided in each frontage, the following standards shall be applied to all residential building types (House and Apartment Building Types) in order to maintain the overall mass and scale, of the PAG community's existing housing stock.

The following standards are included to provide a minimum criteria needed to review the overall design, mass and scale as outlined below while allowing an applicant flexibility in the design of the building. The design criteria are typical design elements used by architects to ensure a higher quality development.

Any single family or attached residential structure that follows the criteria outlined in 20.15 must design the building with the following architectural elements:

(a) The mass of a building must include:

- 1) Primary Mass. The building shall have a distinct primary mass

- 2) Secondary Mass. A building should also include secondary mass (private frontage requirements) that form the façade of the building.
 - 3) Voids that allow for natural breaks in the mass
- (b) Proportional design elements shall include:
- 1) Windows in varying, yet similar arrangements
 - 2) Appropriate vertical visual consistency at the centerline of the façade
 - 3) Appropriate ratios of visual width between top and bottom halves of the elevation (bottom ½ clearly supports the top)
 - 4) Overall design shall be symmetrically or asymmetrically balanced.
- (c) Design must include the following rhythms:
- 1) Proximity (objects close together complement each other).
 - 2) Similarity- common textures, colors or features.

Sec 20.23 General building design (non-residential)

In addition to the required private frontages and the standards provided in each frontage, the following standards shall be applied to non-residential building types only.

- (a) Public entrance. Buildings that are open to the public shall have an entrance for pedestrians from the street to the building interior. This entrance shall be designed to be a distinctive and prominent element of the architectural design, and shall be open to the public during business hours. Buildings shall incorporate lighting and changes in mass, surface or finish which places an emphasis to the entrance.
- (b) Building orientation. The primary building entrances shall be visible and directly accessible from a street or park space that has a sidewalk or pedestrian path.
- (c) Storefront character. Buildings shall express a “storefront character”. This guideline is met by providing all of the following features along the building frontage as applicable.
 - 1) Regularly spaced and similar-shaped windows with window hoods or trim (all building stories).
 - 2) Large display windows on the ground floor. All street-facing, park-facing and plaza-facing structures shall have windows covering a minimum of 40% and a maximum 80% of the ground floor of each storefront’s linear frontage. Blank walls shall not occupy over 50% of a street-facing frontage and shall not exceed 20 linear feet without being interrupted by a window or entry. Mirrored glass, obscured glass and glass block cannot be used in meeting this requirement. Display windows may be used to meet this requirement if the first floor has not been design as a flood proof first floor.
- (d) Building façade. A clear visual division shall be maintained between the ground level floor and upper floors with either a cornice line or awning from 12' to 16' above grade, whichever applies to the proposed development. No more than 20 feet of horizontal distance of wall shall be provided without architectural relief for building walls and frontage walls facing the street. All buildings excluding single family detached homes shall utilize at least three of the following design features to provide visual relief along all elevations of the building:
 - 1) Divisions or change in materials (materials should be drawn from a common palette).
 - 2) Window bays.
 - 3) Separate entrances and entry treatments, porticoes extending at least five (5) feet.
 - 4) Variation in roof lines.
 - 5) Balconies: 6' maximum may project into the front or side street setbacks.
 - 6) Dormers.
 - 7) Canopies, extending at least five (5) feet.
 - 8) Gables.

- 9) Overhang extending at least five (5) feet.
- 10) Recessed entries (at least three [3] feet from the primary façade).
- 11) Protruding entries (at least three [3] from the primary façade).
- 12) Covered porch entries.
- 13) Cupolas shall be permitted on sloped roofs and are exempt from the height limitations up to twelve feet above the roof line.
- 14) Buildings shall provide a foundation or base, typically from ground to bottom of the lower windowsills, with changes in volume or material.

Sec 20.24 Design review and required drawings

An applicant shall be subject to the City's permit process. In addition, any development within the PAG Overlay District using the building types, as provided in this Division, shall submit architectural elevations of all facades of all structures subject to this Division and shall be a required exhibit for plan approval which does not subrogate any requirements outlined in Division 5, Site plan approval procedures, and building permit process. Such exhibits shall include colors, materials, building dimensions, mass and scale proportions, location of service areas and mechanical equipment, screening devices, parking, site furnishings, lighting fixtures, all signage, and any other information as determined necessary to ensure consistency with the intent of this Division. All elevations and overall design must be signed and sealed by a licensed architect registered in the State of Florida and must provide a summary and illustrations that identify each standard listed in Section 20.22 or 20.23 of this Division. The City may request review by the Historic Preservation Board to ensure compatibility of new construction or additions within the PAG overlay district.